



**VICINITY MAP**

**PROJECT DATA**

**SITE ADDRESS:** 8244 SE 30TH ST, MERCER ISLAND, WA 98040  
**PARCEL:** 545230-0816  
**PROPERTY OWNER:** TAE PARK  
**PHONE NUMBER:** 206-257-8380  
**EMAIL:** TIMPARK1215@GMAIL.COM  
**APPLICANT:** STEVE JOO  
**PHONE NUMBER:** 206-306-6738  
**EMAIL:** STEVE.JOO@HOTMAIL.COM

**LOT SIZE:** 13,200 SQ. FT.

**LEGAL DESCRIPTION:**  
 MERCER PARK ADD E 30 FT OF 11 & ALL 12-13 LESS N 100 FT & 18-19 & E 30 FT OF 20  
 Plat Block: 7  
 Plat Lot: POR

**LOT ZONING: R-9.6**  
 MAXIMUM LOT COVERAGE (BUILDING AND DRIVING SURFACES): 40% (LOT SLOPE LESS THAN 15%)  
 MAXIMUM GROSS FLOOR AREA: 40%  
 MAXIMUM BUILDING HEIGHT: 30 FEET  
 YARD REQUIREMENTS: FRONT 20 FEET, REAR 25 FEET, SUM OF SIDE YARDS = 17% OF LOT WIDTH = 110 X 0.17 = 18.7 FEET (FOR LOTS WITH A LOT WIDTH OF MORE THAN 90 FEET)  
 PARKING: 2 COVERED AND 1 UNCOVERED ( OVER 3,000 SQ. FT. GFA )

**LOT COVERAGE**

ALL ROOFS (INCLUDING EAVES)	2,433 SQ. FT.
DRIVEWAY (ASPHALT)	1,820 SQ. FT.
COVERED PATIO (CONCRETE)	0 SQ. FT.
TOTAL	4,253 SQ. FT.
4,253 / 13,200 X 100 = 32.2% < MAX ALLOWED 40.0%	

**DRAWING INDEX**

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**HVAC, PLUMBING, ELECTRICAL ARE UNDER SEPARATE PERMITS**

**INSTALL OF AN NFPA 72 MONITORED "CHAPTER 29" FIRE ALARM SYSTEM PER NFPA 72 AND COMI STANDARDS. THIS REQUIRES A SEPARATE PERMIT**

**HARDSCAPE**

UNCOVERED DECK	324 SQ. FT.
UNCOVERED PATIO	0 SQ. FT.
WALKWAY	150 SQ. FT.
ROCKERY	148 SQ. FT.
TOTAL	622 SQ. FT.
622 / 13,200 X 100 = 4.7% < MAX ALLOWED 9%	

**GROSS FLOOR AREA ( SQUARE FOOTAGE )**

	EXISTING				PROPOSED			
	FINISHED AREA	UNFINISHED	GARAGE	SUB-TOTAL	FINISHED AREA	UNFINISHED	GARAGE	SUB-TOTAL
1ST FLOOR	1,510			1,510	2,008			2,008
BASEMENT	670	423	527	1,620	1,472		536	2,008
TOTAL	2,180	423	527	3,130	3,480		536	4,016
4,016 / 13,200 X 100 = 30.42% < MAX ALLOWED 40.0%								

**LOT SLOPE**

HIGHEST ELEVATION POINT: 210.3 FEET  
 LOWEST ELEVATION POINT: 197.8 FEET  
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 120 FEET  
 LOT SLOPE = (210.3 - 197.8) / 120 X 100 = 10.4%

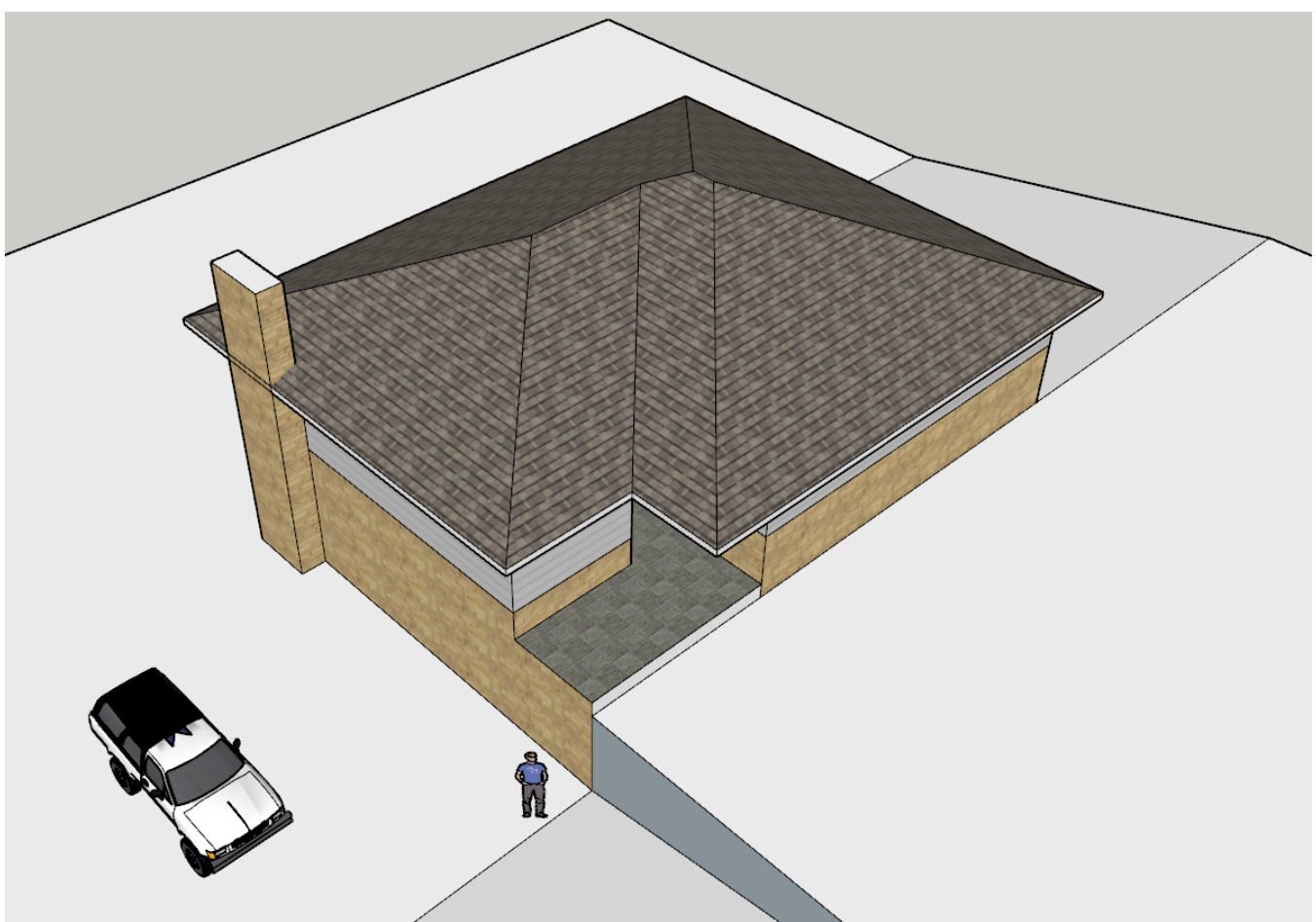
**LINETYPE LEGEND**

---	PROPERTY LINE
○	FILTER FABRIC FENCE
— 202.0' —	EXISTING GRADE LINE

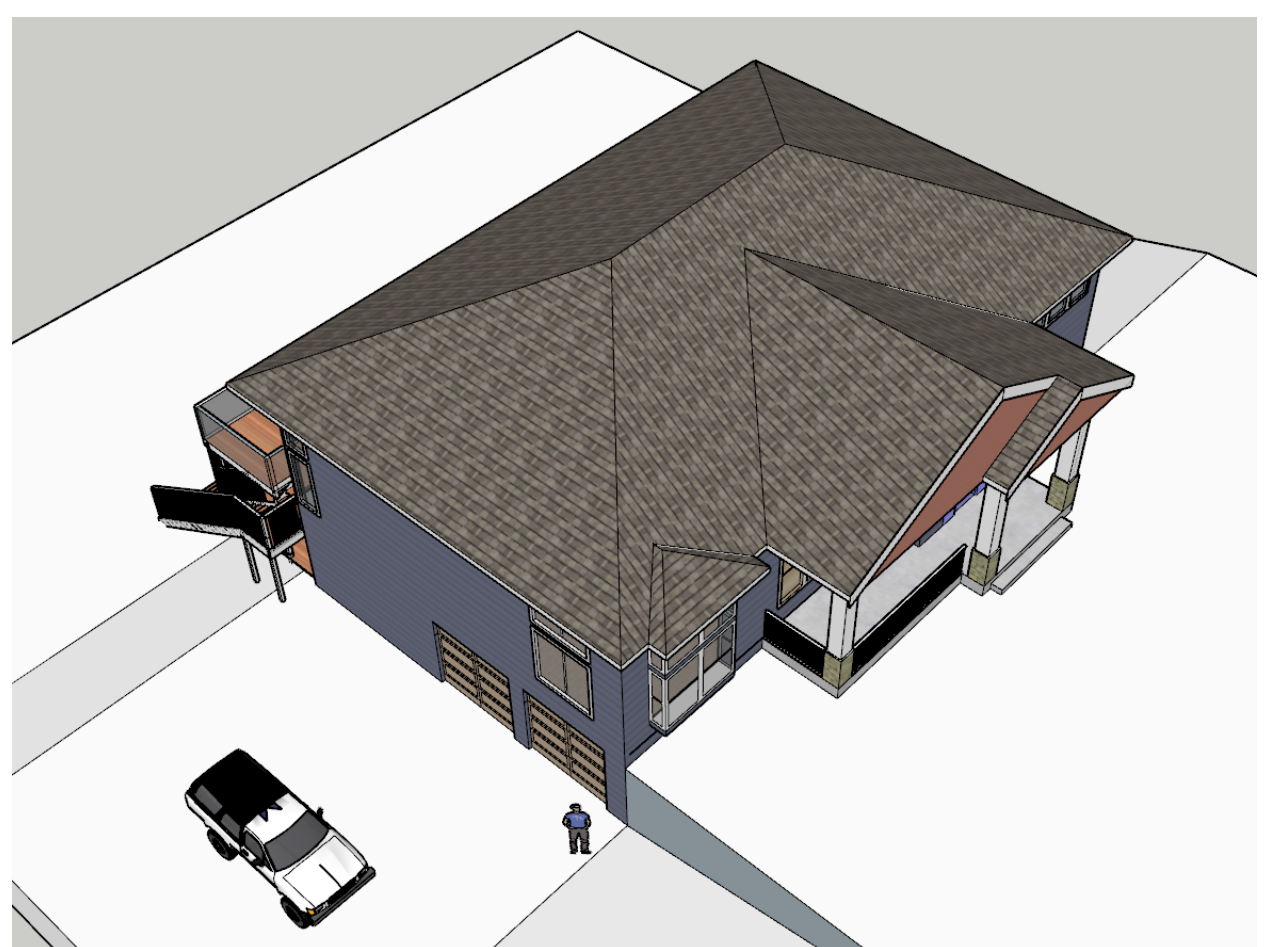
**AVERAGE BUILDING ELEVATION (ABE)**

MIDPOINT ELEVATION	WALL SEGMENT LENGTH
A = 208.0 feet	a = 29.42 feet
B = 208.0 feet	b = 3.00 feet
C = 208.0 feet	c = 12.00 feet
D = 208.0 feet	d = 3.00 feet
E = 207.0 feet	e = 14.88 feet
F = 203.6 feet	f = 36.46 feet
G = 201.2 feet	g = 34.29 feet
H = 201.2 feet	h = 2.00 feet
I = 201.2 feet	i = 22.00 feet
J = 202.6 feet	j = 34.46 feet

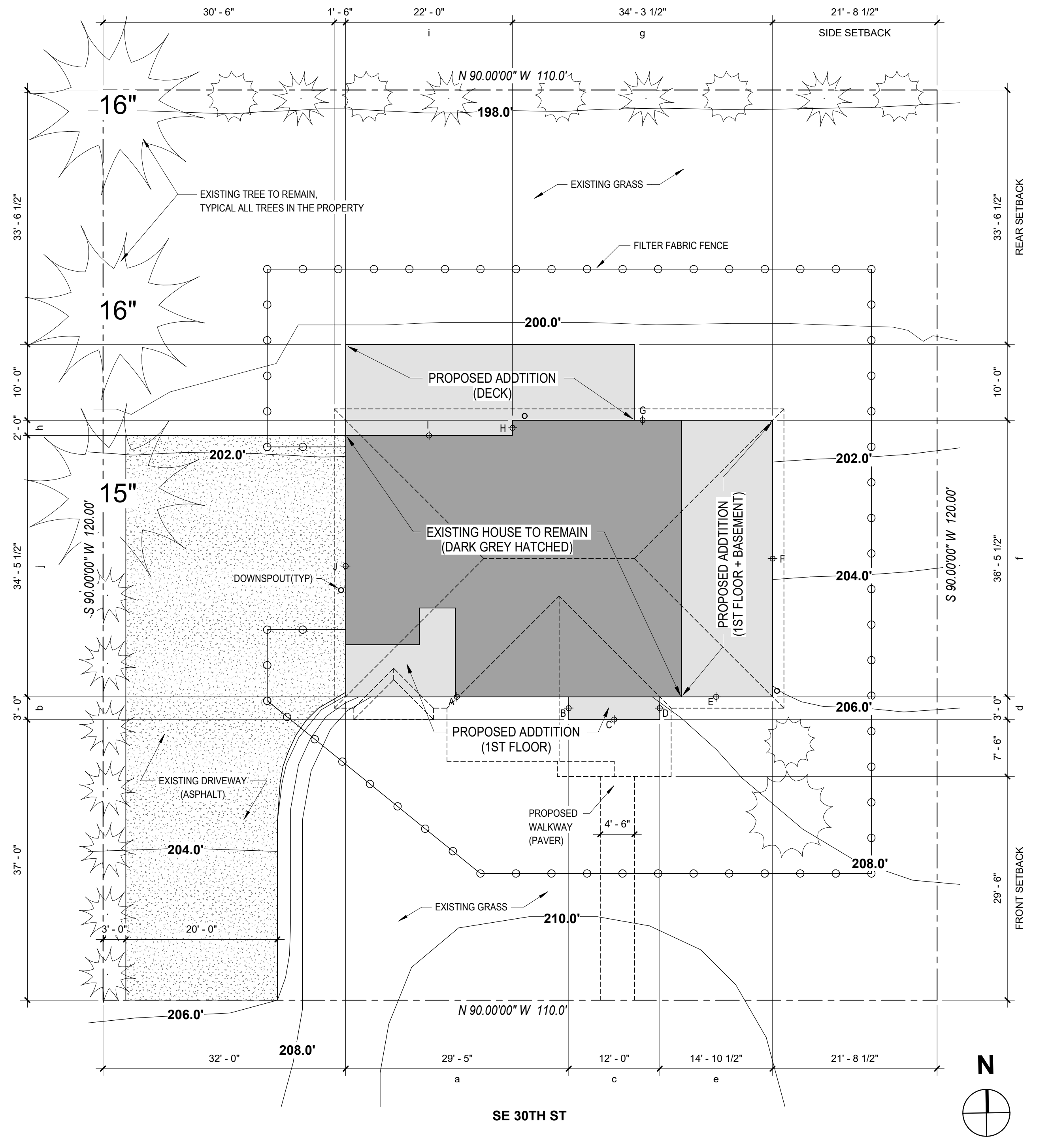
$$\begin{aligned}
 \text{ABE} = & \frac{(208.0)(29.42) + (208.0)(3.00) + (208.0)(12.00) + (208.0)(3.00) + (207.0)(14.88) + (203.6)(36.46) + (201.2)(34.29) + (201.2)(2.00) + (201.2)(22.00) + (202.6)(34.46)}{(29.42 + 3.00 + 12.00 + 3.00 + 14.88 + 36.46 + 34.29 + 2.00 + 22.00 + 34.46)} \\
 = & \frac{39,076.32}{191.51} \\
 = & 204.04 \text{ feet}
 \end{aligned}$$



**EXISTING HOUSE**



**PROPOSED ADDITION**



**1 SITE PLAN PROPOSED**  
 1" = 10'-0"

**OWNER:**  
**TAE PARK**  
 8244 SE 30TH ST  
 MERCER ISLAND WA 98040  
**ARCHITECT:**  
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 206-306-6738  
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 tandemengineering@outlook.com  
**GEOTECH ENGINEER:**  
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 cobaltgeo@gmail.com

**PARK'S RESIDENCE ADDITION**  
 8244 SE 30TH ST  
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 98040

8419 REGISTERED ARCHITECT  
  
 SEKWANG JOO  
 STATE OF WASHINGTON  
 EXPIRES 04 / 10 / 2023

**ISSUE**

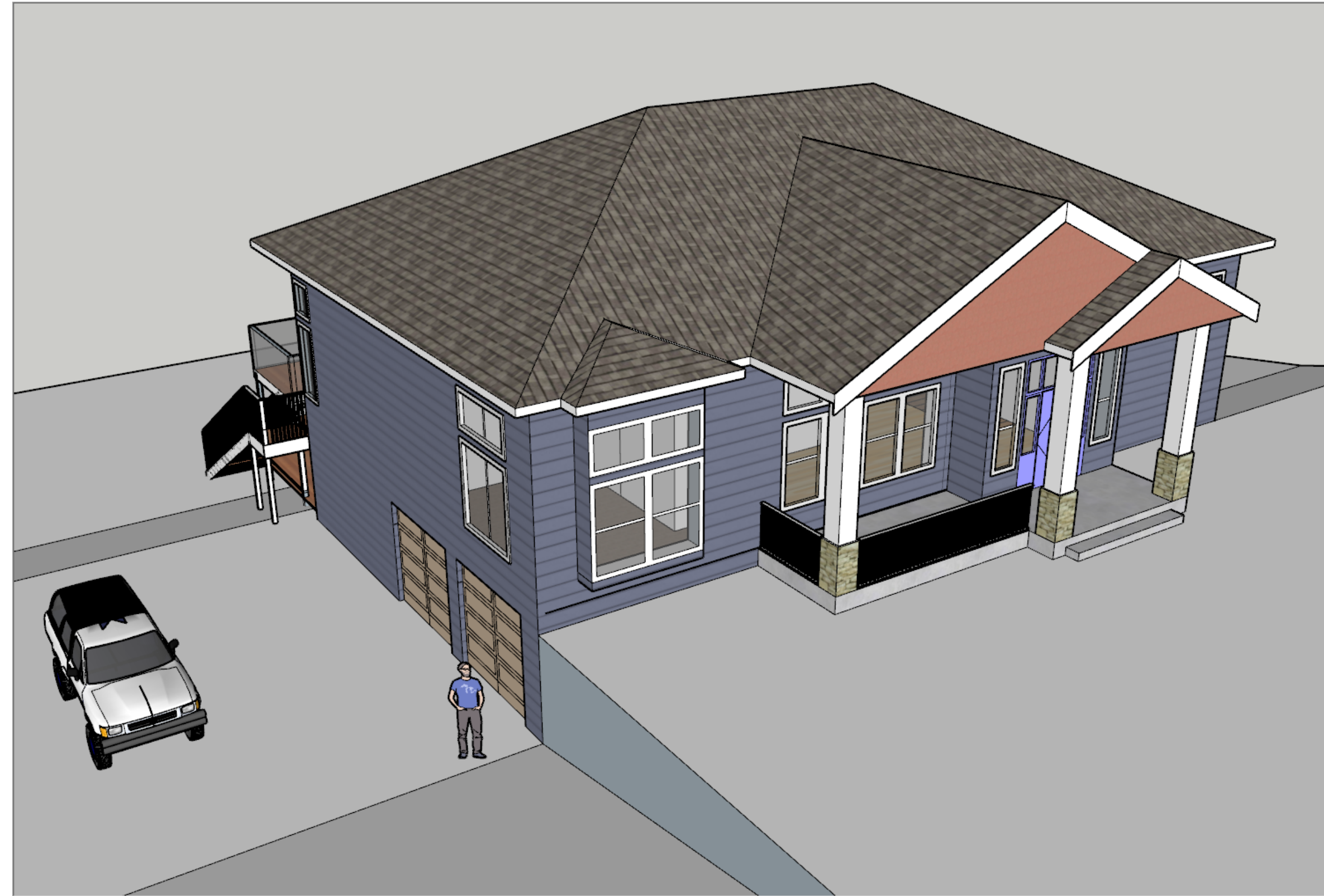
MARK	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_  
 PROJ. NO.: \_\_\_\_\_  
 DATE: \_\_\_\_\_

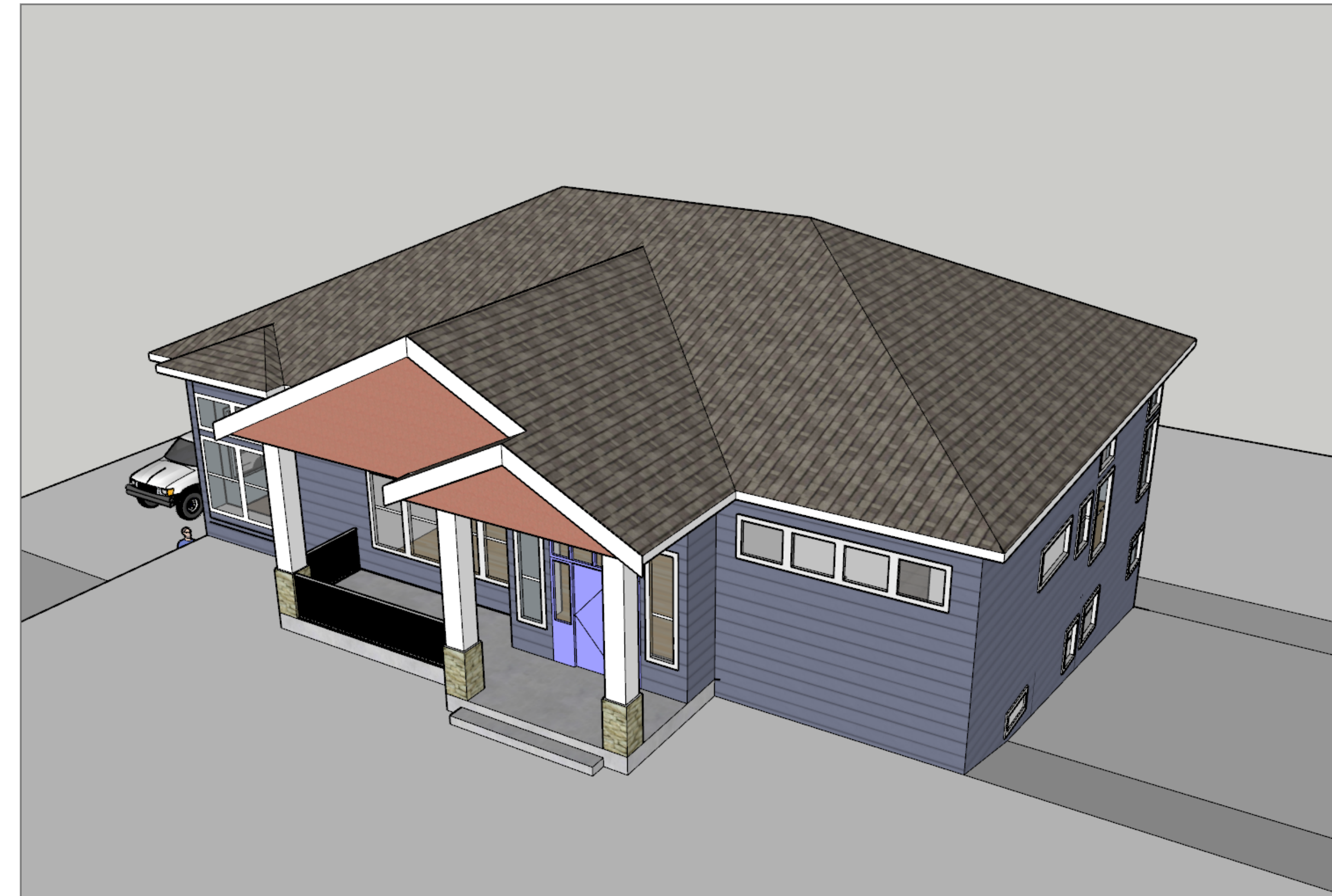
**SITE PLAN & TESC PLAN**

DWG. A-1





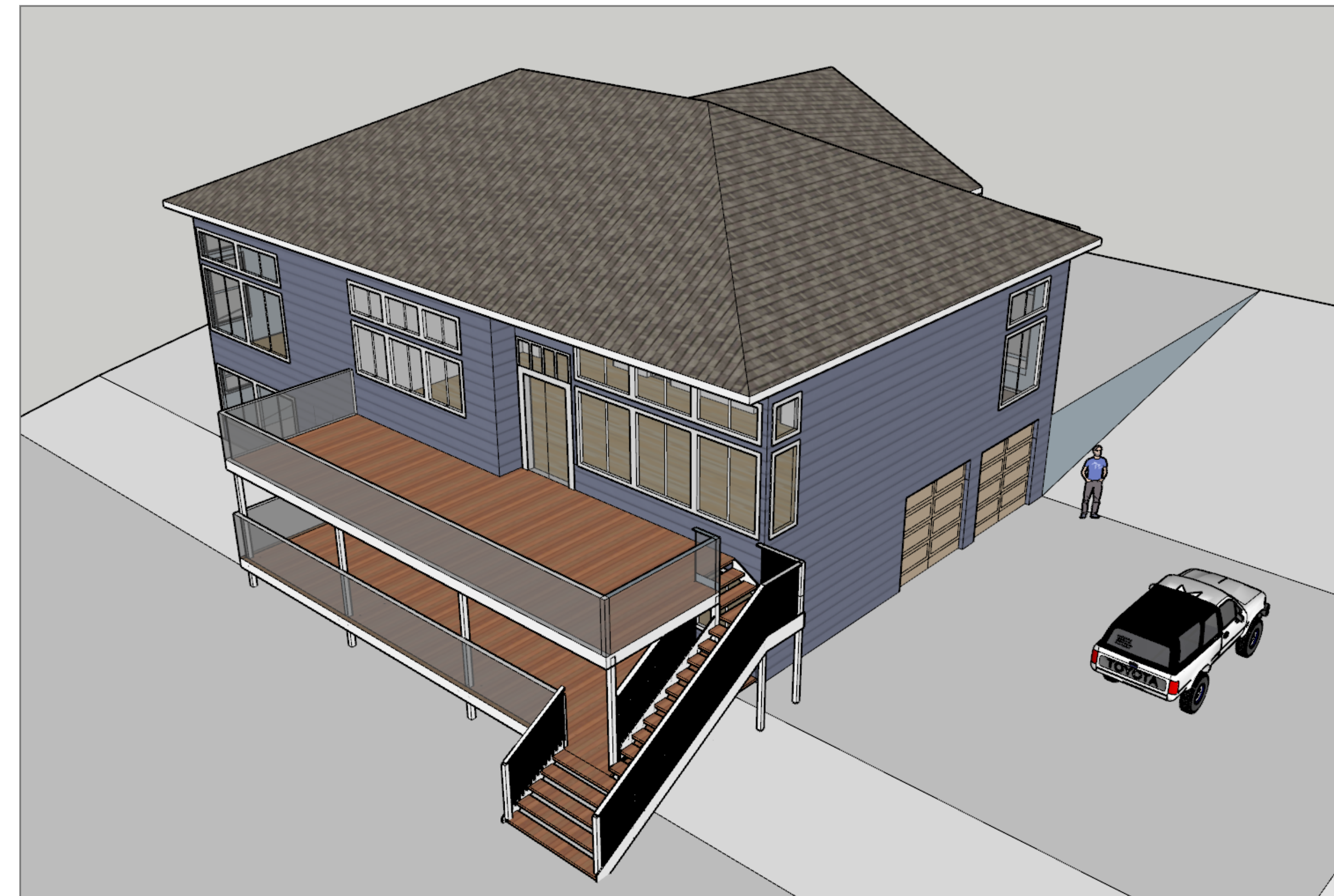
**SOUTHWEST VIEW**



**SOUTHEAST VIEW**



**NORTHEAST VIEW**



**NORTHWEST VIEW**

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*Sehwang Joo*

SEKWANG JOO  
 STATE OF WASHINGTON

EXPIRES 04 / 10 / 2023

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MARK	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_

PROJ. NO.: \_\_\_\_\_

DATE: **02/05/23**

DWG.  
**PERSPECTIVE  
 VIEWS**

DWG.  
**A-1A**



**NOTE FOR EXISTING CONDITION**

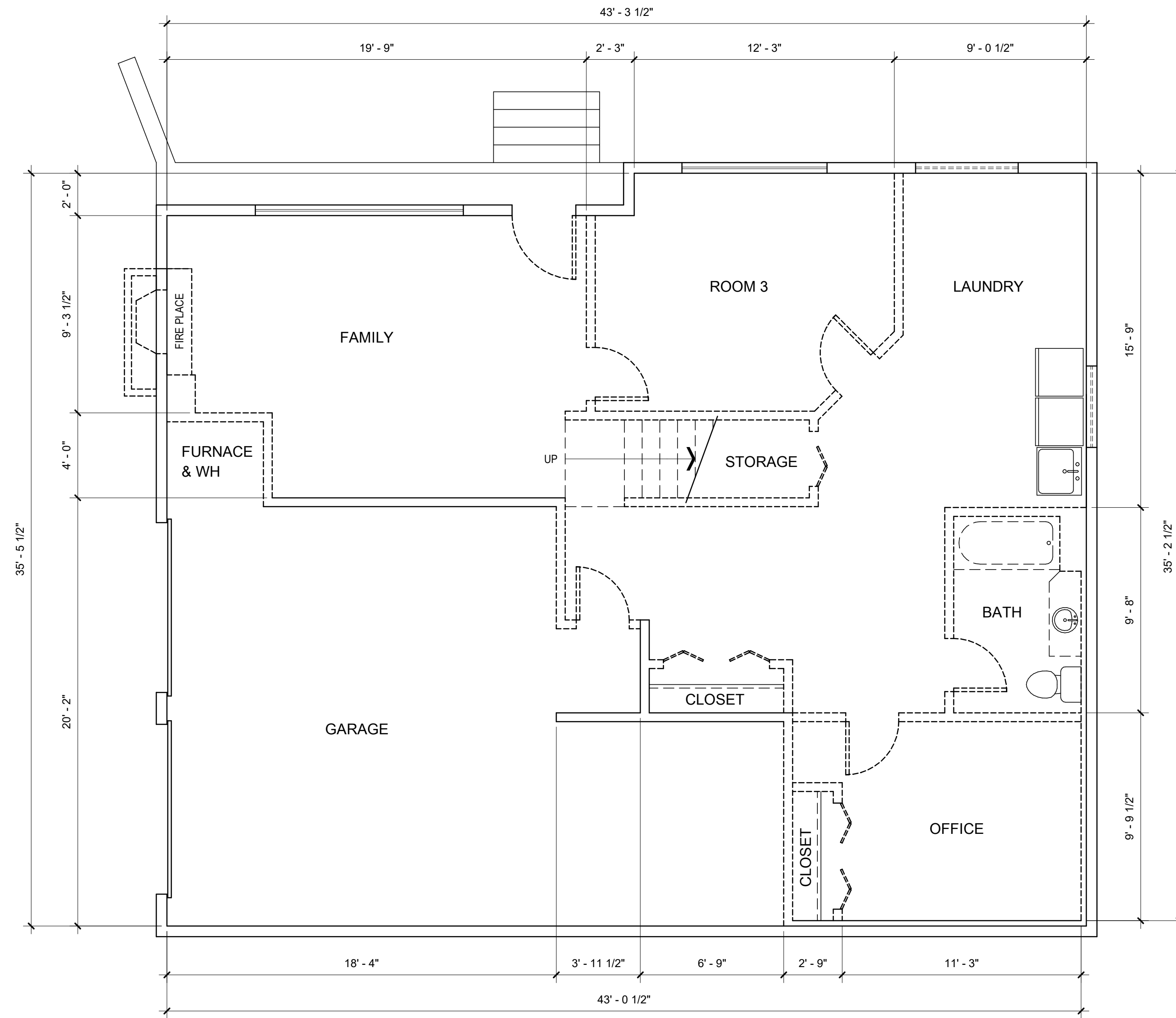
THE CONSTRUCTION DOCUMENTS REPRESENTED HEREIN ARE BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS OF THE PROPOSED PROJECT. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW TO DETERMINE ADEQUACY. THE BUILDER SHALL BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING FURTHER WITH THE WORK.

**GENERAL NOTES**

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION
- CONSTRUCTION TO COMPLY WITH THE 2018 IRC
- NEW 2X6 EXTERIOR STUD WALLS @ 16" O.C. STACKED FRAMED
- NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE
- BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT
- FIREBLOCK ALL PLUMBING PENETRATIONS
- PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS
- ALL HANGER TO BE SIMPSON OR EQUAL
- BEDROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW NET CLEAR OPENING OF 5.7 SQ. FT. MIN. WITH A NET CLEAR OPENING HT. OF 24" MIN. AND NET CLEAR OPENING WIDTH OF 20" MIN. AND A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR
- FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN BAN
- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TRESTED OR CEDAR

**PLAN LEGEND**

- NEW CONSTRUCTION
- EXISTING WALL TO REMAIN
- EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED
- D-# NEW DOOR
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED AND OR MODIFIED



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*Schwartz*  
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**ISSUE**

MARK	DATE	DESCRIPTION

DRAWN BY:                          PROJ ARCH:

PROJ NO.:

DATE:                                  12/17/2016

DWG.

**EXISTING BASEMENT PLAN**

DWG.

**A-2**

**1** EXISTING BASEMENT  
1/4" = 1'-0"

**NOTE FOR EXISTING CONDITION**

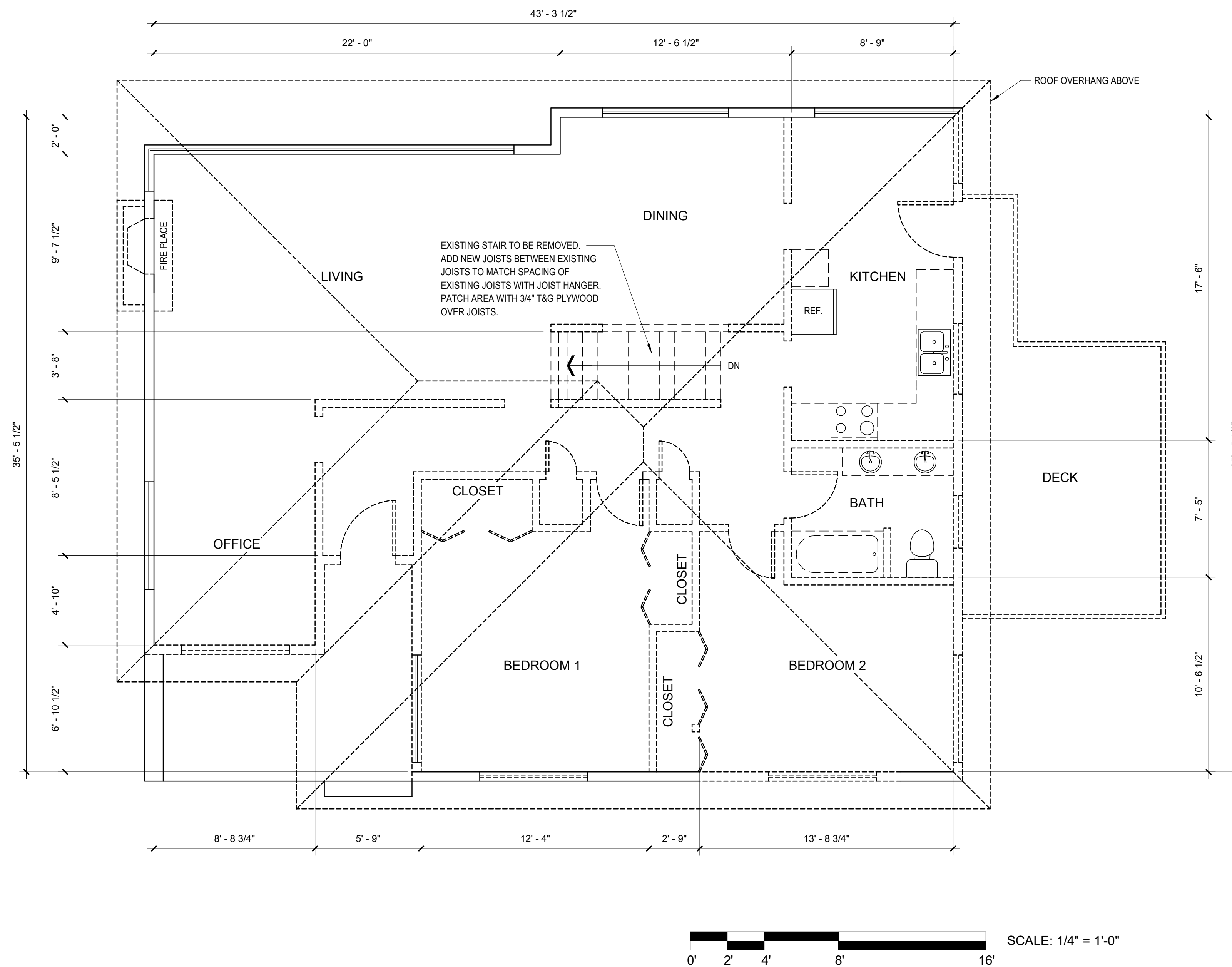
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**GENERAL NOTES**

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- FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED. CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN BAN
- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TREATED OR CEDAR

**PLAN LEGEND**

- NEW CONSTRUCTION
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- EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED
- NEW DOOR
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED AND OR MODIFIED



**1 EXISTING 1ST FLOOR**  
1/4" = 1'-0"

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EXPIRES 04 / 10 / 2023

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DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_

PROJ. NO.: \_\_\_\_\_

DATE: **12/26/21**

DWG.

**EXISTING 1ST FLOOR PLAN**

DWG.

**A-3**







**GENERAL NOTES**

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION
- CONSTRUCTION TO COMPLY WITH THE 2015 IRC
- NEW 2X6 EXTERIOR STUD WALLS @ 16" O.C. STACKED FRAMED
- NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE
- BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT
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- PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS
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- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TREATED OR CEDAR
- 1ST FLOOR CEILING AT 12 FEET A.F.F. UNLESS NOTED OTHERWISE

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**PLAN LEGEND**

- NEW CONSTRUCTION
- EXISTING WALL TO REMAIN
- EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED
- NEW DOOR
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED AND OR MODIFIED

**SHEAR WALL SCHEDULE**

MARK	SHEATHING COMMON	STUDS AT ABUTTING PANEL EDGES*	PANEL EDGE NAILING ******	RIM JOIST OR BLOCKING ATTACHMENT TO TOP PLATE		2X BOTTOM PLATE ATTACHMENT	SILL PLATE ATTACHMENT	
				SOLID RIM	TJI RIM		BOTTOM PLATE TO RIM JOIST BELOW**	ANCHOR BOLT TO CONCRETE ***
SW1	7/16" OSB ONE SIDE	2X	8d @ 6" O.C.	A35 @ 24" O.C.	16d @ 6" O.C.	16d @ 6" O.C.	5/8" DIA @ 48" O.C.	2X
SW2	7/16" OSB ONE SIDE	2X	8d @ 4" O.C.	A35 @ 15" O.C.	16d @ 4" O.C.	16d @ 4" O.C.	5/8" DIA @ 32" O.C.	2X
SW3	7/16" OSB ONE SIDE	3X	8d @ 3" O.C.	A35 @ 12" O.C.	NA - USE SOLID RIM	16d @ 3" O.C.	5/8" DIA @ 16" O.C.	2X
SW4	7/16" OSB ONE SIDE	3X	8d @ 2" O.C.	A35 @ 9" O.C.	NA - USE SOLID RIM	16d @ 2" O.C.	5/8" DIA @ 12" O.C.	2X

\* INTERMEDIATE FRAMING TO BE 2X STUDS. TWO 2X STUDS MAY BE USED IN PLACE OF 3X STUDS; NAIL TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.  
 \*\* 8d NAILS SHALL BE 0.131" DIA X 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIA X 3 1/2" (BOX).  
 \*\*\* USE ANCHOR BOLT WITH 7" MIN. EMBED OR EXPANSION BOLTS WITH 4" EMBED. AT ALL ANCHOR BOLTS USE 3"X3"X1/4" PLATE WASHERS (SIMPSON BP58-3 OR EQUAL)  
 \*\*\*\* TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF SHEARWALLS. END STUD SHALL RECEIVE PANEL EDGE NAILING.

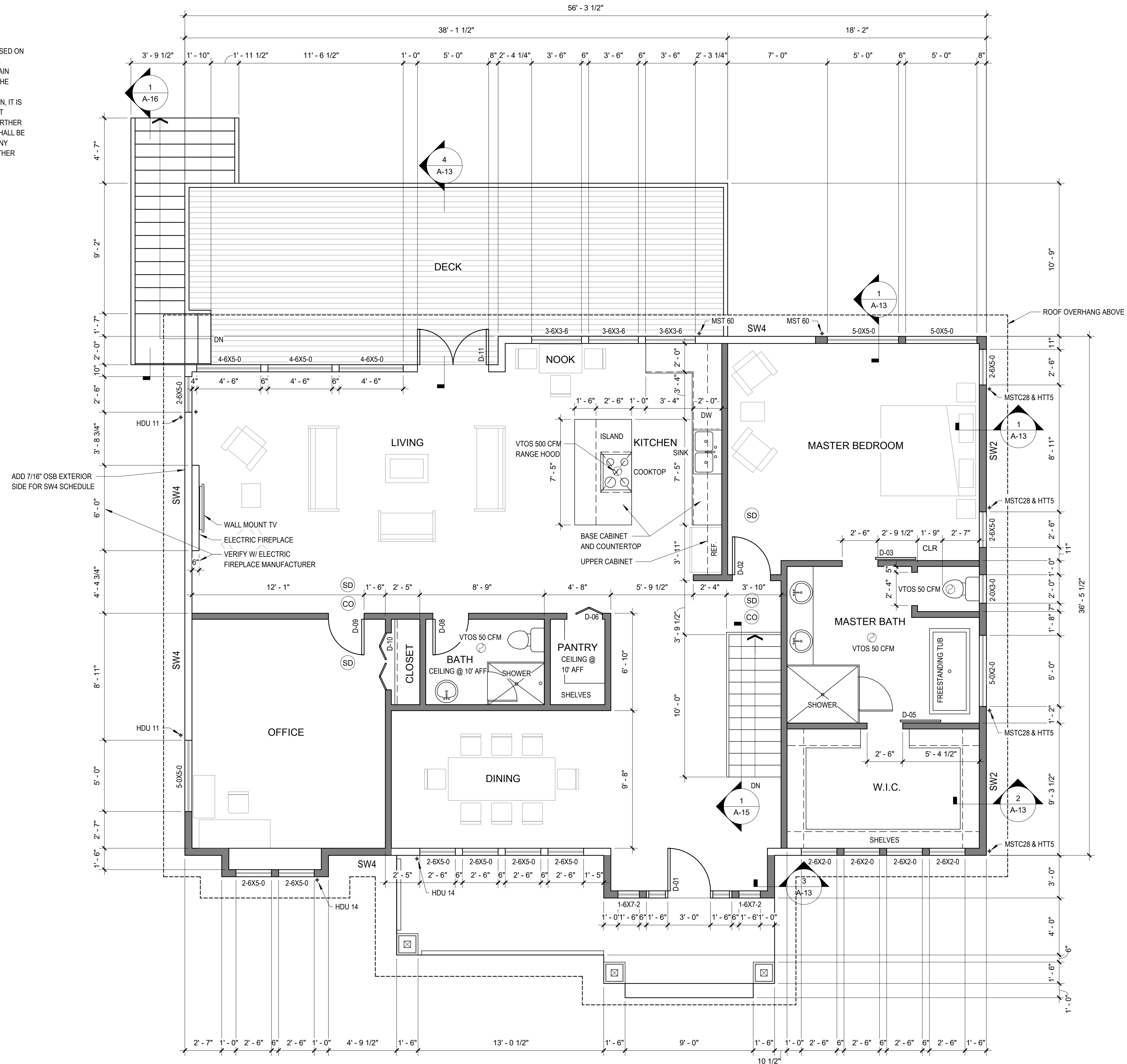
**WSEC - ENERGY EFFICIENCY CREDITS**

SELECTED OPTIONS	DESCRIPTION	CREDIT
EFFICIENT BUILDING ENVELOPE 1.3	VERTICAL PENETRATION U=0.28, FLOOR R=38	0.5
HIGH EFFICIENCY HVAC EQUIPMENT 3.4	DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM	1.5
EFFICIENT WATER HEATING 5.3	GAS WATER HEATER W/ MINIMUM UEF OF 0.91	1.0

**WHOLE HOUSE FAN**

ROOM	CFM	W.F.
BATHROOM (3)	25 w.g.	50 CFM
LAUNDRY	.25 w.g.	50 CFM
KITCHEN	.10 w.g.	100 CFM
BEDROOM (4)	25 w.g.	50 CFM

PROVIDE 150 CFM W.H.F. WITH A 24 HOUR TIMER TO CONTROL EXHAUST FAN.  
 INTERMITTENT AIR FLOW AT 50% RUN TIME.  
 VENTILATION PATH THROUGH UNDERCUT DOOR.



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**PROPOSED 1ST FLOOR PLAN**

DWG.

**A-5**



**STRUCTURAL DESIGN NOTES:**

1. LIVE LOAD  
 ROOF LIVE LOAD = 25 PSF (SNOW)  
 FLOOR LIVE LOAD = 40 PSF  
 DECK LIVE LOAD = 60 PSF

2. DEAD LOAD  
 ROOF TRUSS DEAD LOAD = 10 PSF TOP CHORD + 5 PSF BOTTOM CHORD

3. WIND LOAD: WIND LOADS SHALL BE IN ACCORDANCE WITH THE IBC SECTION 1609 & ASCE 7-10, CHAPTER 26 THRU 31.

WIND IMPORTANCE FACTOR (IW) = 1.0,  
 WIND EXPOSURE "C"  
 BASIC WIND SPEED (V3S) = 98 mph  
 TOPOGRAPHIC EFFECT (KZT) = 1.3

4. SEISMIC LOAD: EARTHQUAKE LOADS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE (SECTION 1613) & ASCE 7-10, CHAPTER 12.

SEISMIC IMPORTANCE FACTOR (IE) = 1.0,  
 SITE CLASS "D", R = 6.5  
 Ss = 1.395g, S1 = 0.486g,  
 Sds = 1.116g, Sd1 = N/A  
 SEISMIC DESIGN CATEGORY = "D"

**WOOD:**

1. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 16. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

- JOISTS & RAFTERS: HF#2 OR BETTER
- BEAMS: DF#2 OR BETTER
- STUDS, PLATES & MISC. FRAMING: HF STUD GRADE

2. STRUCTURAL WOOD PANEL SHEATHING (PLYWOOD) SHALL BE APA RATED SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

- ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.
- FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 40/20.
- WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.
- REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

3. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

4. ALL LUMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED OR CEDAR.

5. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR LATEST CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "U" SERIES JOIST HANGERS.

**CAST-IN-PLACE CONCRETE:**

1. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC AND ACI 301. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF  $f_c = 3,000$  PSI AND MIX SHALL CONTAIN NOT LESS THAN 5 1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 3" TO 5".

2. THE MINIMUM AMOUNTS OF CEMENTITIOUS MATERIAL MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES, AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

3. SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE PROJECT ARCHITECT/ENGINEER BEFORE POURING. CONDUITS EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE THIRD OF THE THICKNESS OF THE SLAB AND SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS ON CENTER.

4. WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHALL BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

5. VERIFY ALL BLOCKOUTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING REQUIREMENTS.

**REINFORCING STEEL:**

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, INCLUDING S1, GRADE 60, FOR DEFORMED BARS AND ASTM A185 FOR SMOOTH WELDED WIRE FABRIC (WWF), UNLESS OTHERWISE NOTED. REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706. COLUMN SPIRALS SHALL BE PLAIN OR DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE WITH #16 ANNEALED IRON WIRE.

2. BARS IN SLABS SHALL BE SUPPORTED ON WELL-CURED CONCRETE BLOCKS OR APPROVED METAL CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE. MSP-1 REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315. SHOP DRAWINGS SHALL INCLUDE ELEVATIONS OF ALL COLUMNS SHOWING BAR LOCATIONS. LAP ALL REINFORCING BARS AT SPLICES 36 DIAMETERS, WITH A MINIMUM LAP OF 18", EXCEPT AS NOTED.

3. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

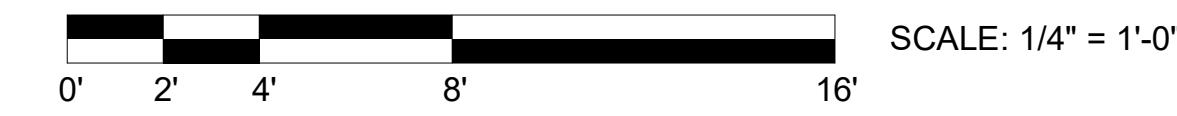
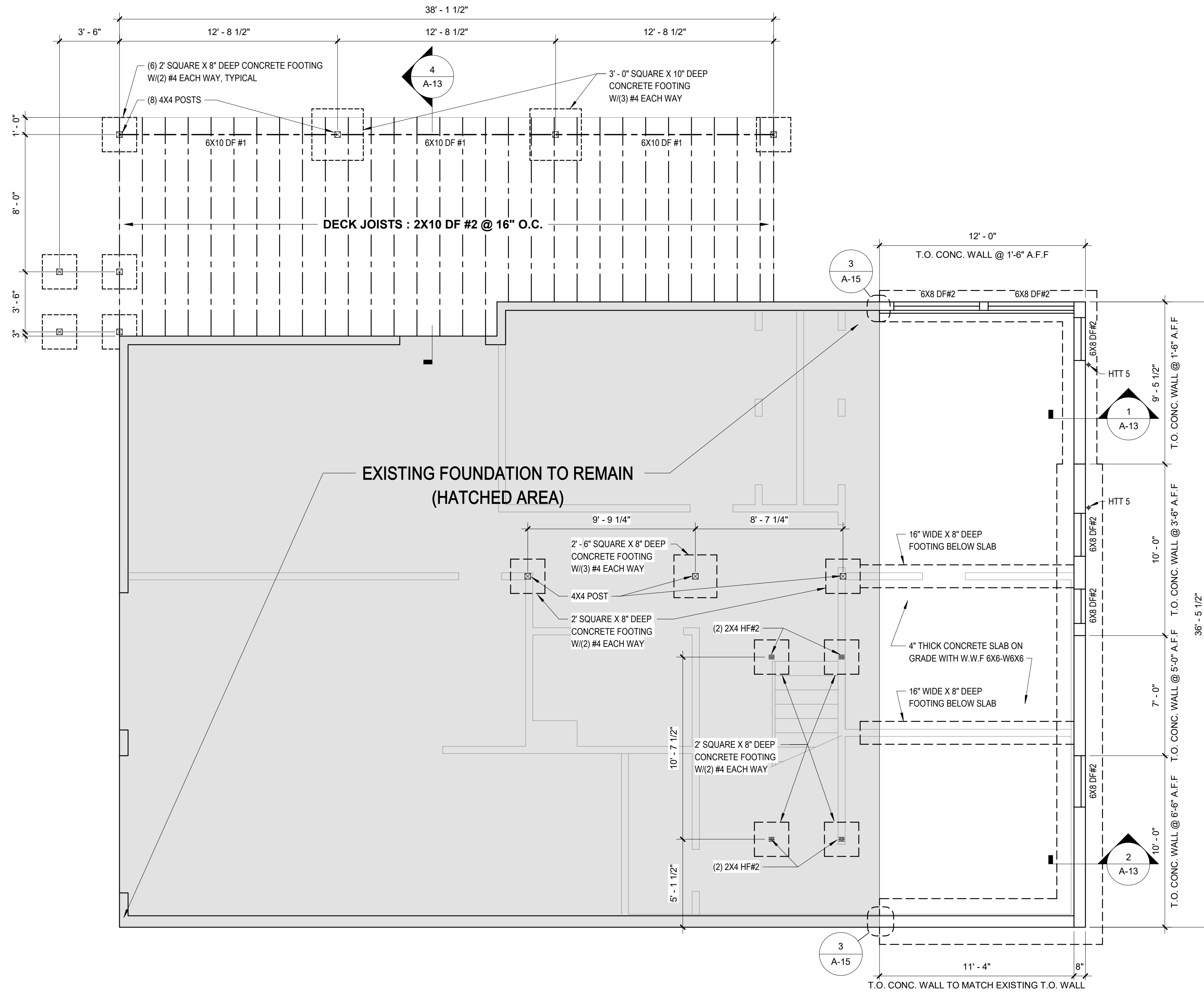
CAST AGAINST EARTH..... 3 IN.

CONCRETE EXPOSED TO EARTH OR WEATHER:  
 #6 AND LARGER ..... 2 IN.  
 #5 AND SMALLER & WWF ..... 1 1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:  
 SLAB AND WALL ..... 3/4 IN.  
 BEAMS AND COLUMNS ..... 1 1/2 IN.

**FOUNDATION NOTES:**

- CONCRETE TO BE 5 SACK  $f_c = 3,000$  PSI @ 28 DAYS
- REINFORCING STEEL TO BE ASTM A-615 GRADE 40 OR BETTER
- FOOTINGS TO REST ON 1,500 PSI UNDISTURBED SOIL (ASSUMED)
- MIN. CONCRETE COVERAGE OF STEEL TO BE:  
 3" CLEAR @ BOTTOM OF FOOTINGS  
 1 1/2" CLEAR @ SIDE OF WALLS
- ALL LUMBER IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- ALL ROOF DRAIN DOWNSPOUTS SHALL EMPTY INTO A 4" TIGHTLINE THAT SHALL RUN THE PERIMETER OF THE FOUNDATION AND EMPTY IN AN APPROVED MANNER
- FOOTINGS LOCATED INSIDE OF CRAWL SPACE WILL BE 8" BELOW GRADE. EXTERIOR FOOTINGS TO BE 18" MIN. BELOW GRADE, U.N.O.



**1 FOUNDATION PLAN**  
 1/4" = 1'-0"

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DWG. **FOUNDATION PLAN**

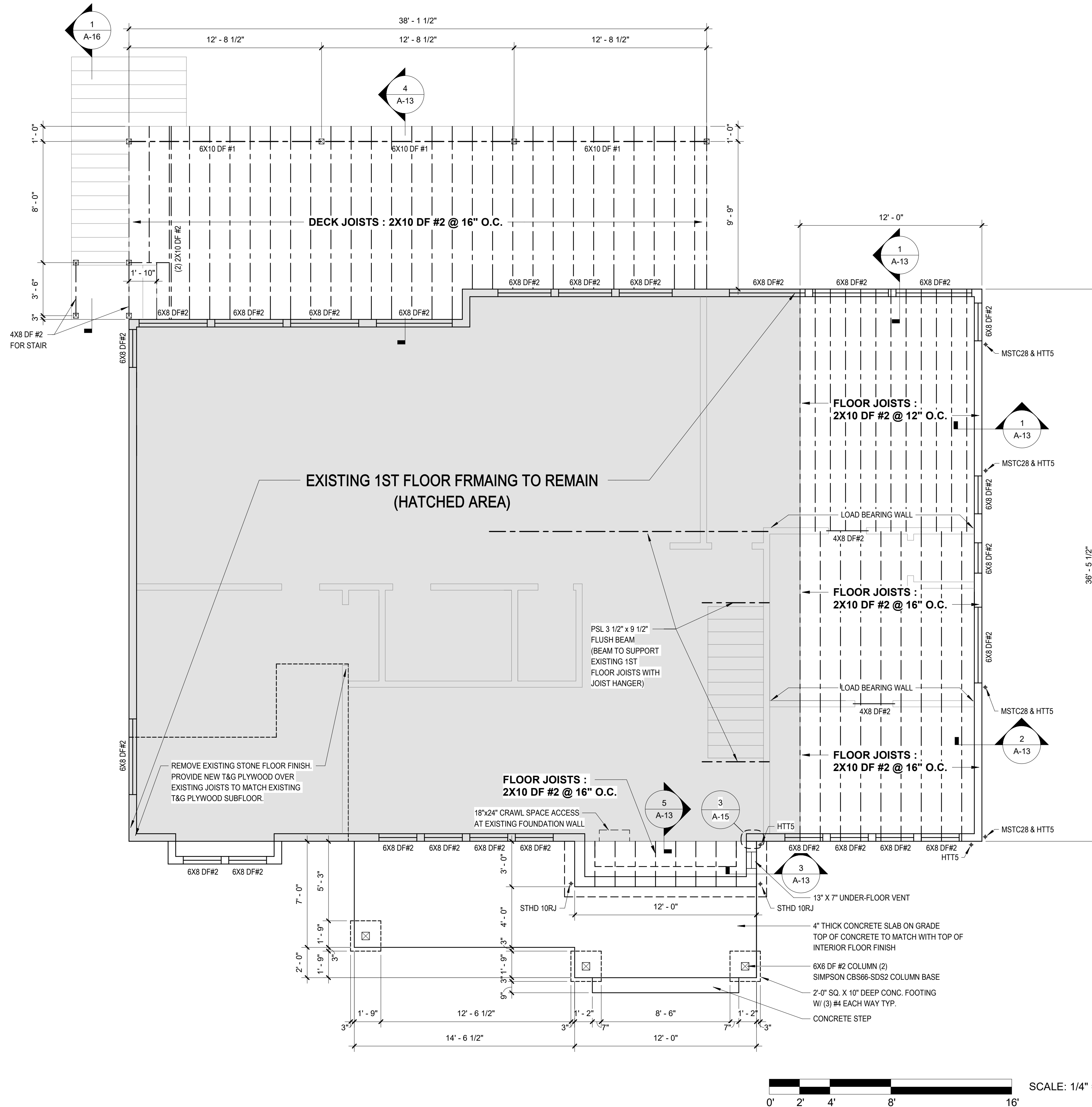
DWG. **A-6**



**GENERAL NOTES:**  
 - VERIFY IN THE FIELD ALL DIMENSIONS FOR EXISTING CONDITION  
 - ALL HEADERS TO BE 6X8 DF#2 OR 4X10 DF#2 UNLESS NOTED OTHERWISE.  
 - ALL LUMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED OR CEDAR.  
 - FIREBLOCK ALL VOIDS.

**UNDER-FLOOR VENTILATION:**  
 13" X 7" SCREENED VENT = 91 SQ. IN.

**ENTRY PORCH AREA:**  
 36 SQ. FT. X 144/150 = 34.56 SQ IN. X 1.2 (NET AREA)  
 41.47 / 91 = 0.46 VENT REQUIRED  
 PROVIDE (1) 13" X 7" UNDER-FLOOR VENT  
 IRC SECTION R408.2



SCALE: 1/4" = 1'-0"

**1 1ST FLOOR FRAMING PLAN**  
 1/4" = 1'-0"

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DWG.  
**1ST FLOOR FRAMING PLAN**

DWG.  
**A-7**



**GENERAL NOTES:**

- VERIFY IN THE FIELD ALL DIMENSIONS FOR EXISTING CONDITION
- ALL HEADERS TO BE 6X8 DF#2 OR 4X10 DF#2 UNLESS NOTED OTHERWISE.
- ALL LUMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED OR CEDAR.
- SKYLIGHTS IN HEATED ENVELOP TO BE INSULATED PER WSEC.
- MIN. 22"X30" ATTIC ACCESS W/ 36" MIN. HEAD ROOM. INSULATE AND WEATHERSTRIP.
- FIREBLOCK ALL VOIDS.

**TRUSS NOTES:**

- SHALL HAVE MANUFACTURER'S STAMP.
- SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S INSTRUCTIONS.
- WILL NOT BE FIELD ALTERED WITHOUT BUILDING DEPARTMENT APPROVAL OF THE ENGINEERING CALCULATIONS.
- SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE.

**TRUSS HOLDDOWN:**

SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS

**ROOF NOTES:**

MATERIAL: COMPOSITE ROOFING

PITCH: 6:12

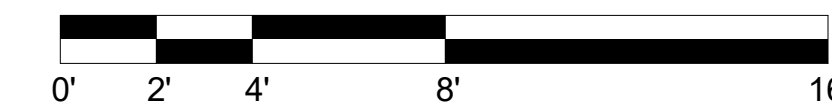
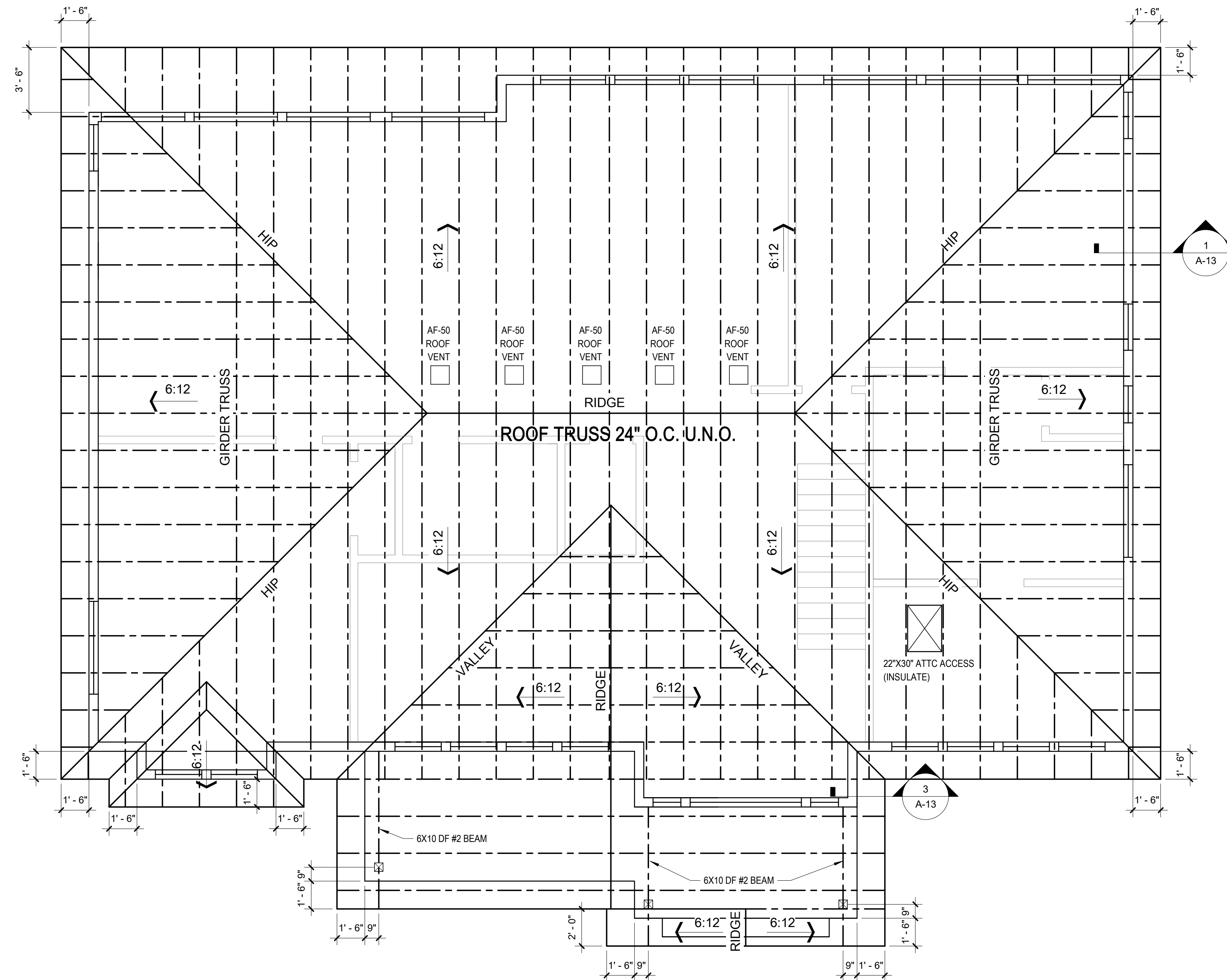
OVERHANG: SEE DIMENSIONS ON PLAN

FASCIA: 1"X6" PRIMED AND PAINTED SPRUCE FASCIA BOARD.

1"X8" PRIMED AND PAINTED SPRUCE FASCIA BOARD AT GABLE

**ATTIC VENTILATION:**

2,592 SQ. FT. (NEW ATTIC SPACE) X 144/300 = 1,244.2 SQ. IN. (REQUIRED NET AREA)  
 PROVIDE CONTINUOUS SOFFIT VENT 2"X(36" + 36" + 56" + 6" + 12" + 12" + 4") = 3,888 SQ. IN.  
 PROVIDE (5) AF-50 ROOF JACKS = 250 SQ. IN.  
 TOTAL 4,138 SQ. IN. PROVIDED  
 IRC SECTION R806.2



SCALE: 1/4" = 1'-0"

**1 ROOF FRAMING PLAN**  
 1/4" = 1'-0"

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**ROOF FRAMING  
 PLAN**

DWG.

**A-8**

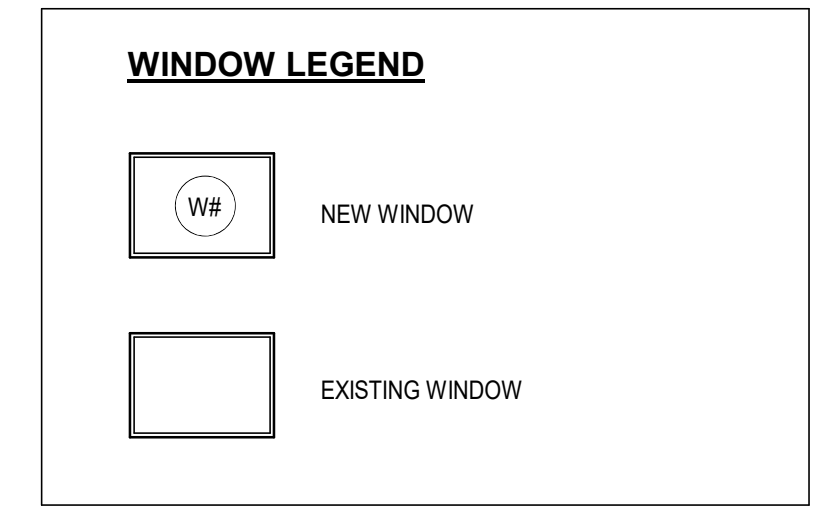








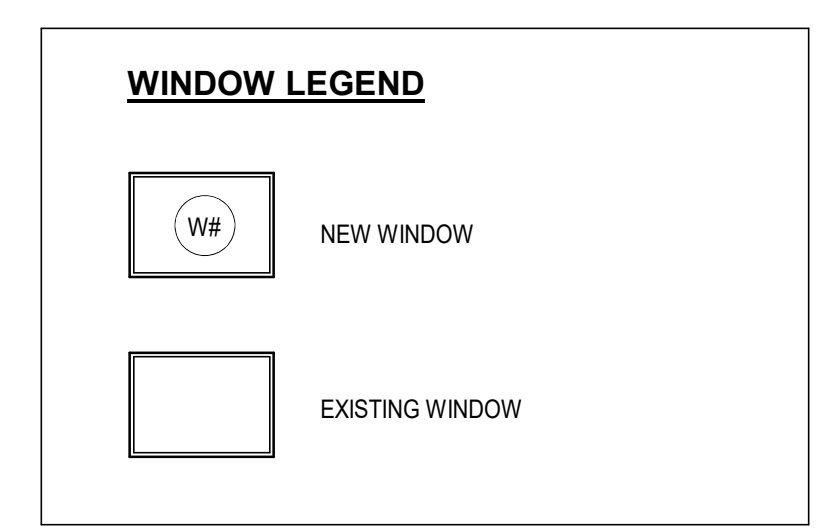
**1 BUILDING ELEVATION EAST - EXISTING**  
1/4" = 1'-0"



NOTE:  
1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.  
2. SEE SHEET A-14 FOR WINDOW SCHEDULE



**2 BUILDING ELEVATION EAST - PROPOSED**  
1/4" = 1'-0"



NOTE:  
1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.  
2. SEE SHEET A-14 FOR WINDOW SCHEDULE

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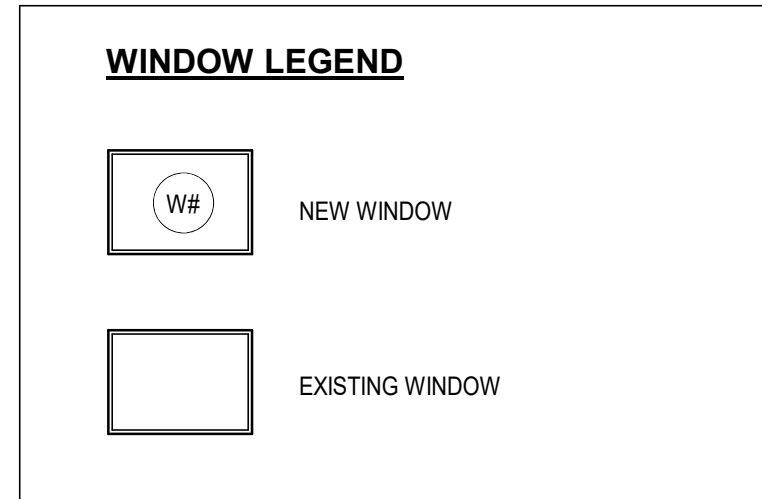
DWG.  
**BUILDING ELEVATIONS - EAST**

DWG.  
**A-10**



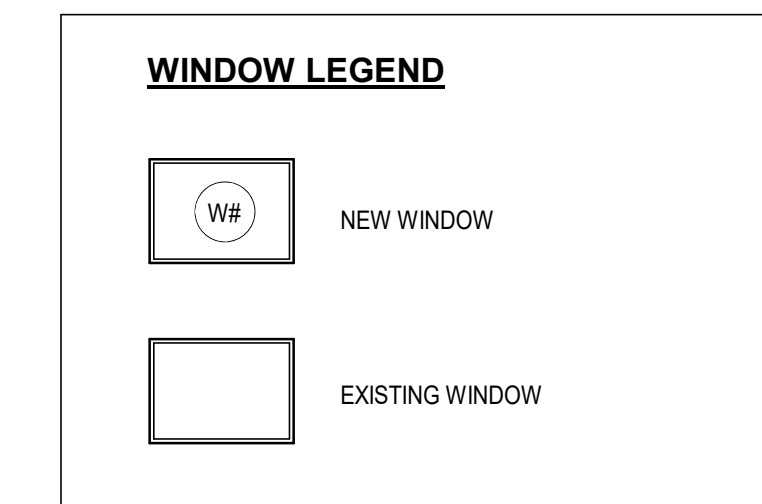






NOTE:  
 1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.  
 2. SEE SHEET A-14 FOR WINDOW SCHEDULE

**1 BUILDING ELEVATION WEST - EXISTING**  
 1/4" = 1'-0"



NOTE:  
 1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.  
 2. SEE SHEET A-14 FOR WINDOW SCHEDULE

**2 BUILDING ELEVATION WEST - PROPOSED**  
 1/4" = 1'-0"

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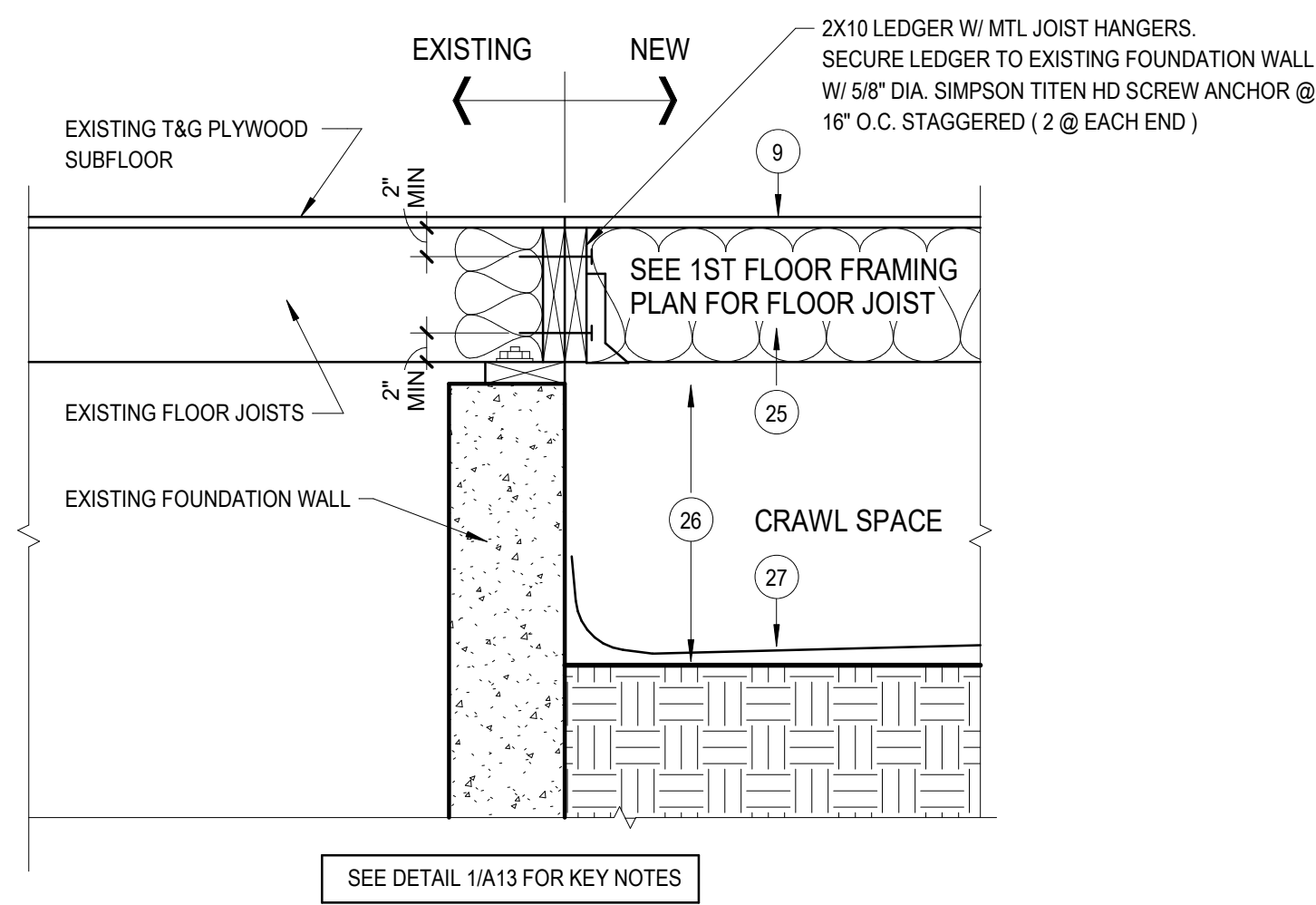
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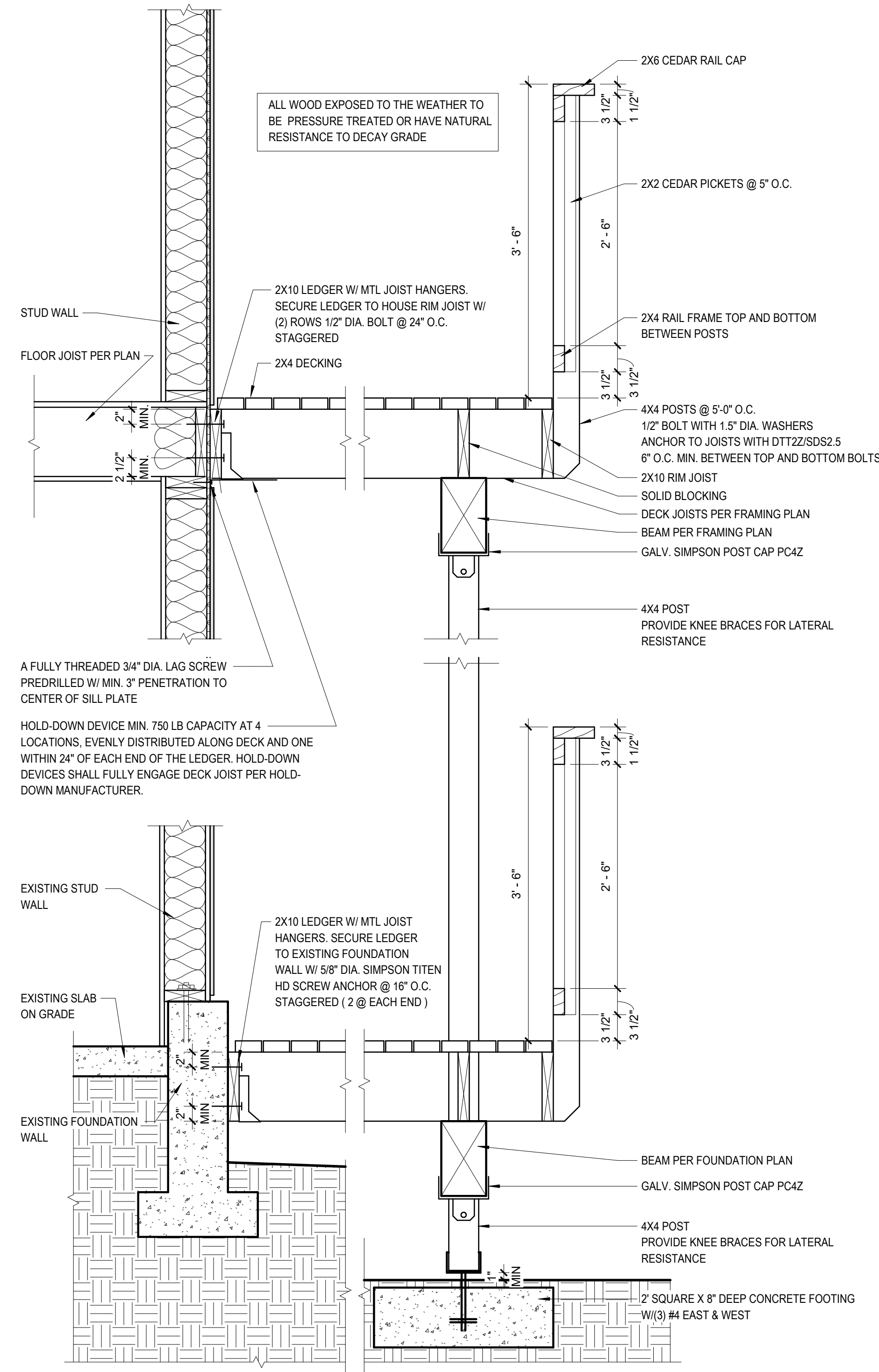
DWG.  
**BUILDING ELEVATIONS - WEST**

DWG.  
**A-12**

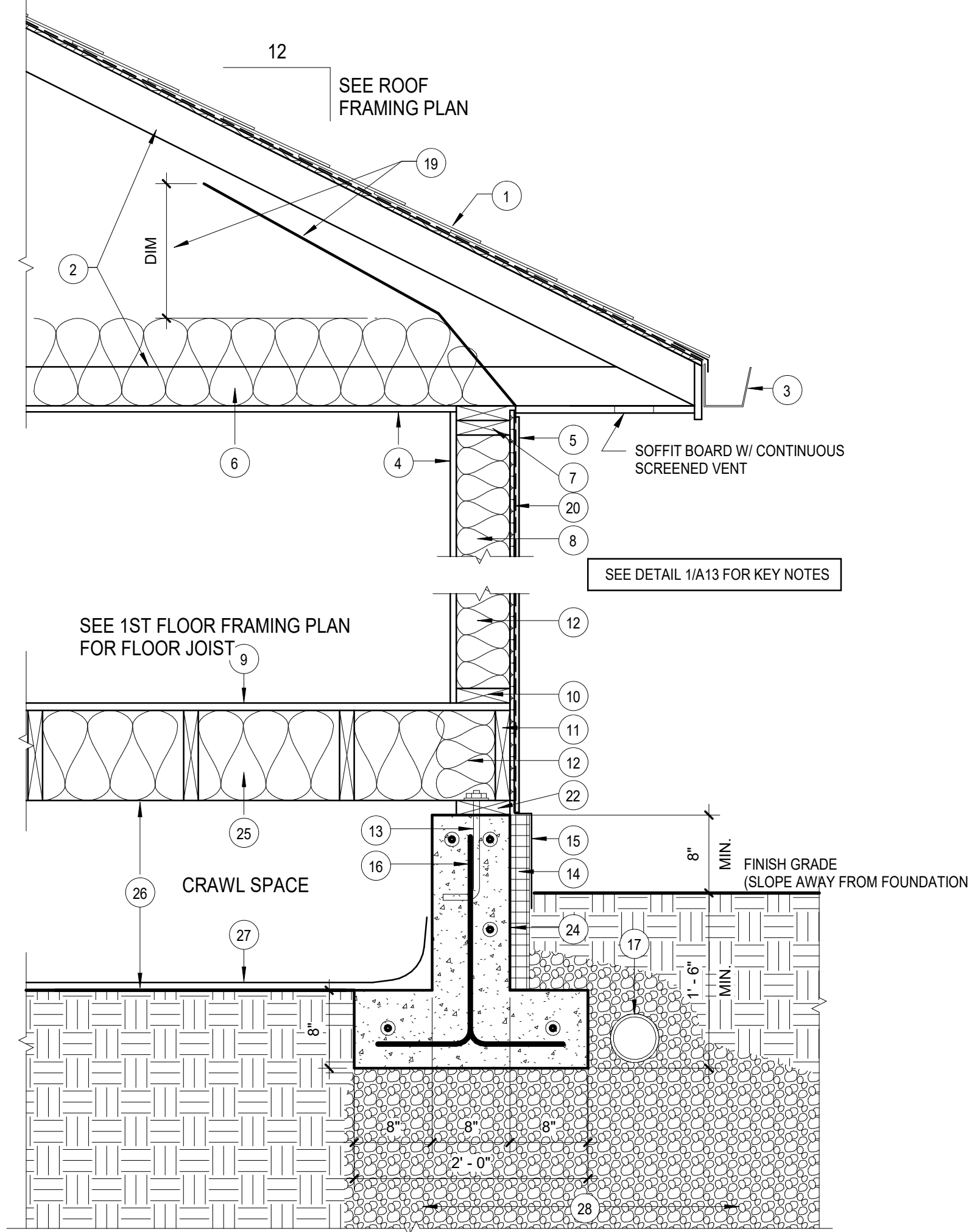




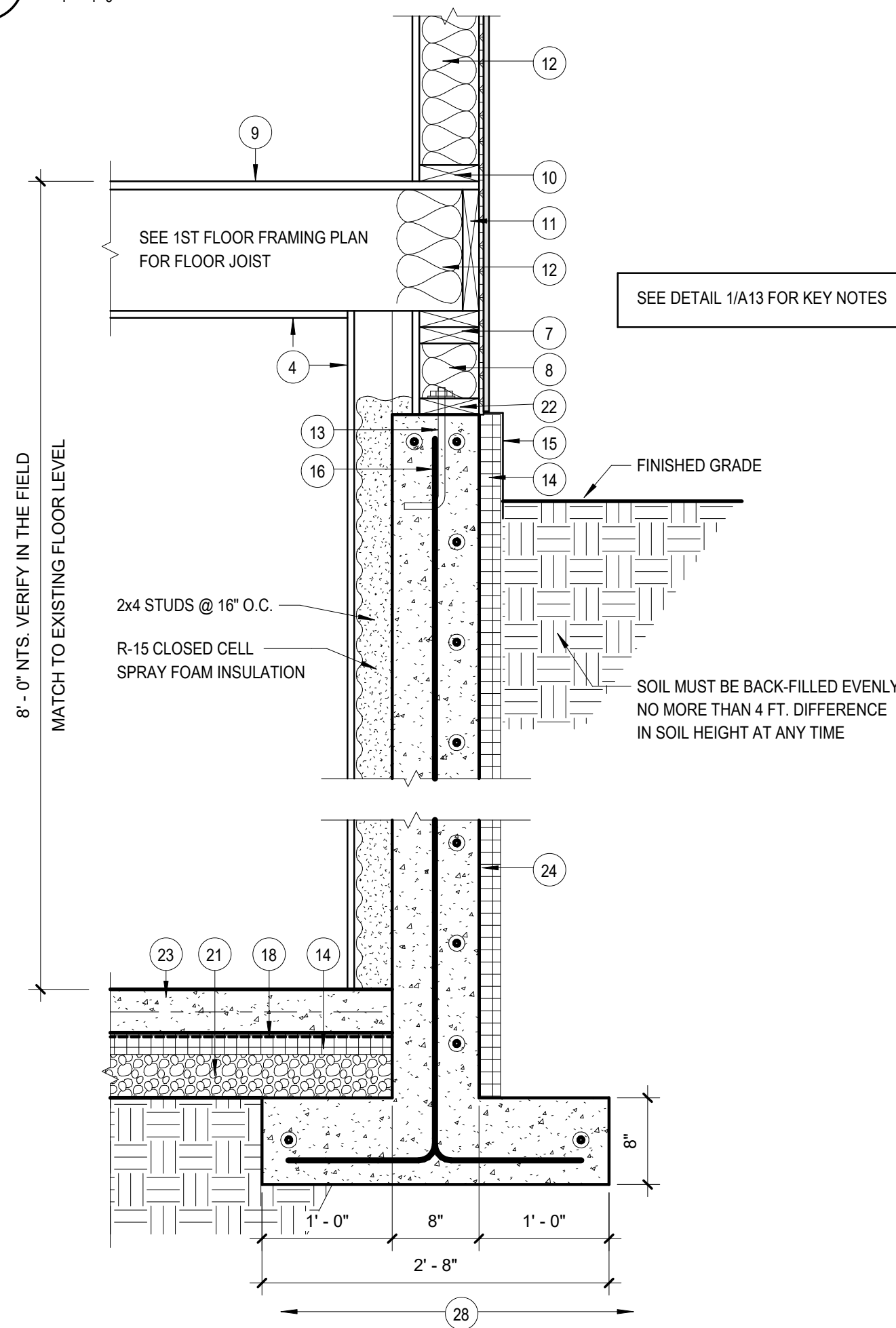
**5 SECTION AT EXISTING FOUNDATION**  
1" = 1'-0"



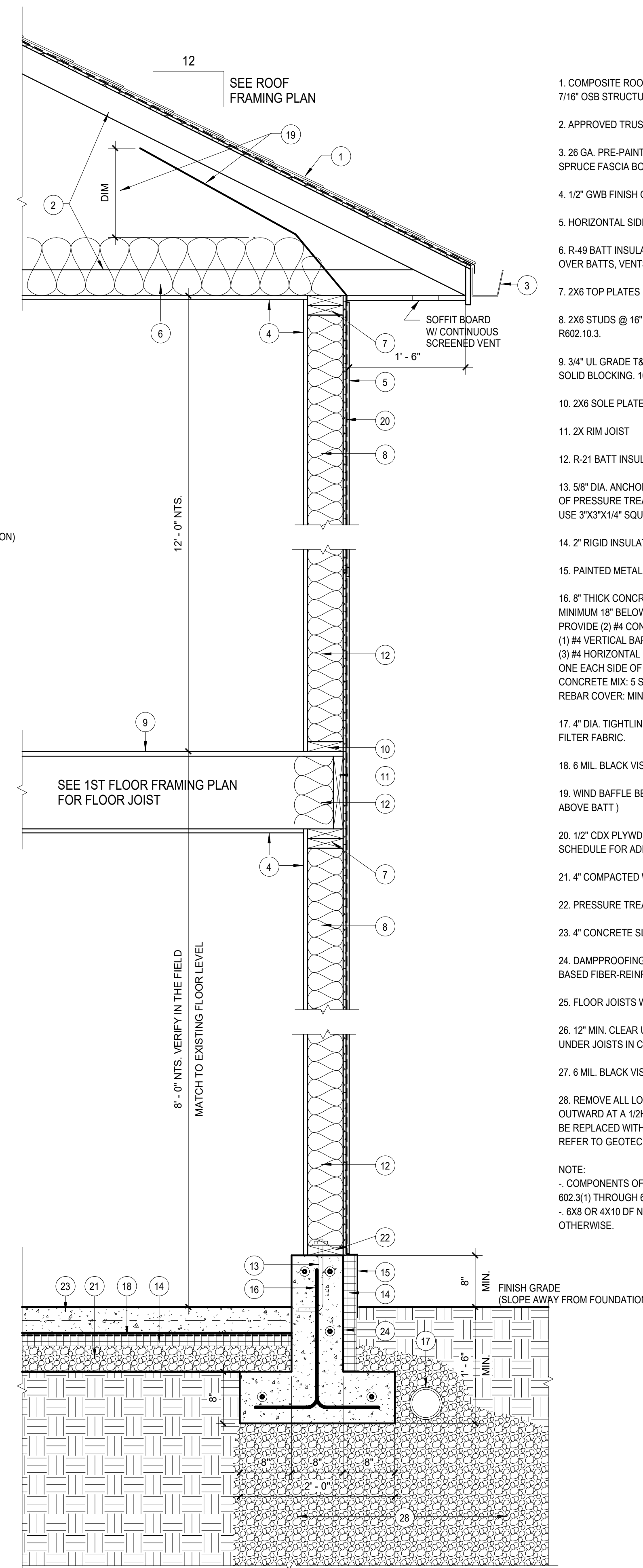
**4 DECK SECTION**  
1" = 1'-0"



**3 WALL SECTION 3**  
1" = 1'-0"



**2 WALL SECTION 2**  
1" = 1'-0"



**1 WALL SECTION 1**  
1" = 1'-0"

1. COMPOSITE ROOFING OVER #15 WATERPROOF BUILDING PAPER OVER 7/16\"/>
- 2. APPROVED TRUSSES @ 24\"/>
- 3. 26 GA. PRE-PAINTED METAL GUTTERS ON 1\"/>
- 4. 1/2\"/>
- 5. HORIZONTAL SIDING OVER HOUSEWRAP. SEE ELEVATIONS
- 6. R-49 BATT INSULATION AT CEILING. INSURE 1\"/>
- 7. 2X6 TOP PLATES
- 8. 2X6 STUDS @ 16\"/>
- 9. 3/4\"/>
- 10. 2X6 SOLE PLATE.
- 11. 2X RIM JOIST
- 12. R-21 BATT INSULATION, UNLESS NOTED OTHERWISE.
- 13. 5/8\"/>
- 14. 2\"/>
- 15. PAINTED METAL FLASHING OVER RIGID INSULATION
- 16. 8\"/>
- 17. 4\"/>
- 18. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12\"/>
- 19. WIND Baffle BETWEEN EACH TRUSS SPACE. ( 12\"/>
- 20. 1/2\"/>
- 21. 4\"/>
- 22. PRESSURE TREATED 2X6 SILL PLATE.
- 23. 4\"/>
- 24. DAMPPROOFING FOR FOUNDATION WALL RETAINS EARTH. 18\"/>
- 25. FLOOR JOISTS W/ R-30 BATT INSULATION.
- 26. 12\"/>
- 27. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12\"/>
- 28. REMOVE ALL LOOSE SANDS BELOW NEW FOOTING AREAS EXTENDING OUTWARD AT A 1:2H:1V ENVELOPE IN ALL DIRECTIONS. THE SAND SHOULD BE REPLACED WITH COARSE CLEAN ANGULAR ROCK 5/8 TO 2 INCHES IN SIZE. REFER TO GEOTECH REPORT.

NOTE:  
 - COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED PER IRC TABLES 602.3(1) THROUGH 602.3(4)  
 - 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

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**WALL SECTIONS**

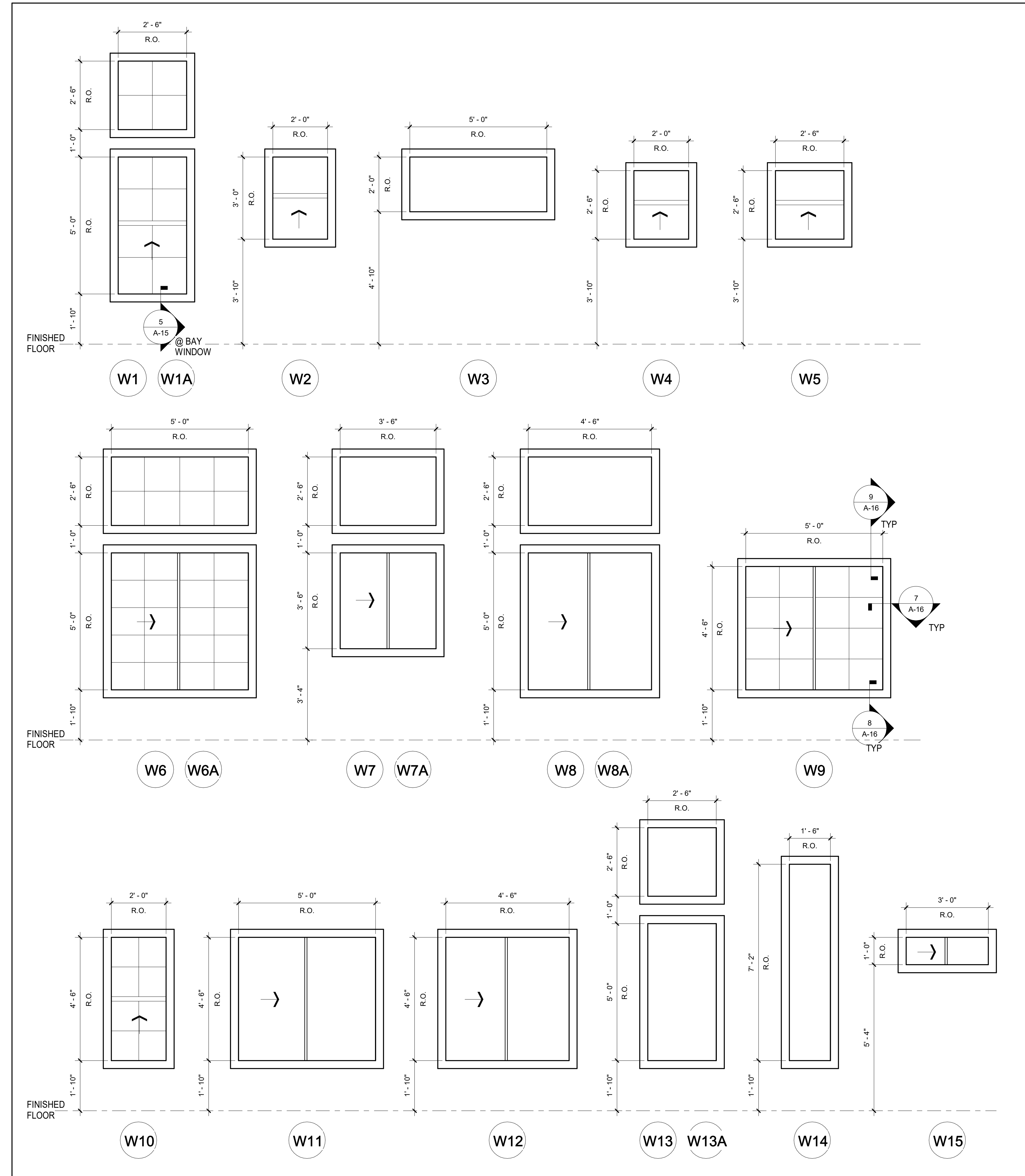
DWG.

**A-13**



# WINDOW SCHEDULE

NOTE:  
 1. VINYL FRAME WINDOWS. JELD-WEN V-4500 SERIES. INSULATED LOW-E CLEAR FLOAT, DOUBLE PANE, AIR FILLED, FRAME COLOR: WHITE. TARGET U-VALUE < 0.3 SEE 7.8 AND 9 / A-16 FOR WINDOW DETAILS  
 2. TEMPERED GLASS REQUIREMENT: PER IRC R308.4.3 GLAZING IN WINDOWS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND  
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND  
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND  
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE



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DWG. **DETAILS**

DWG. **A-14**

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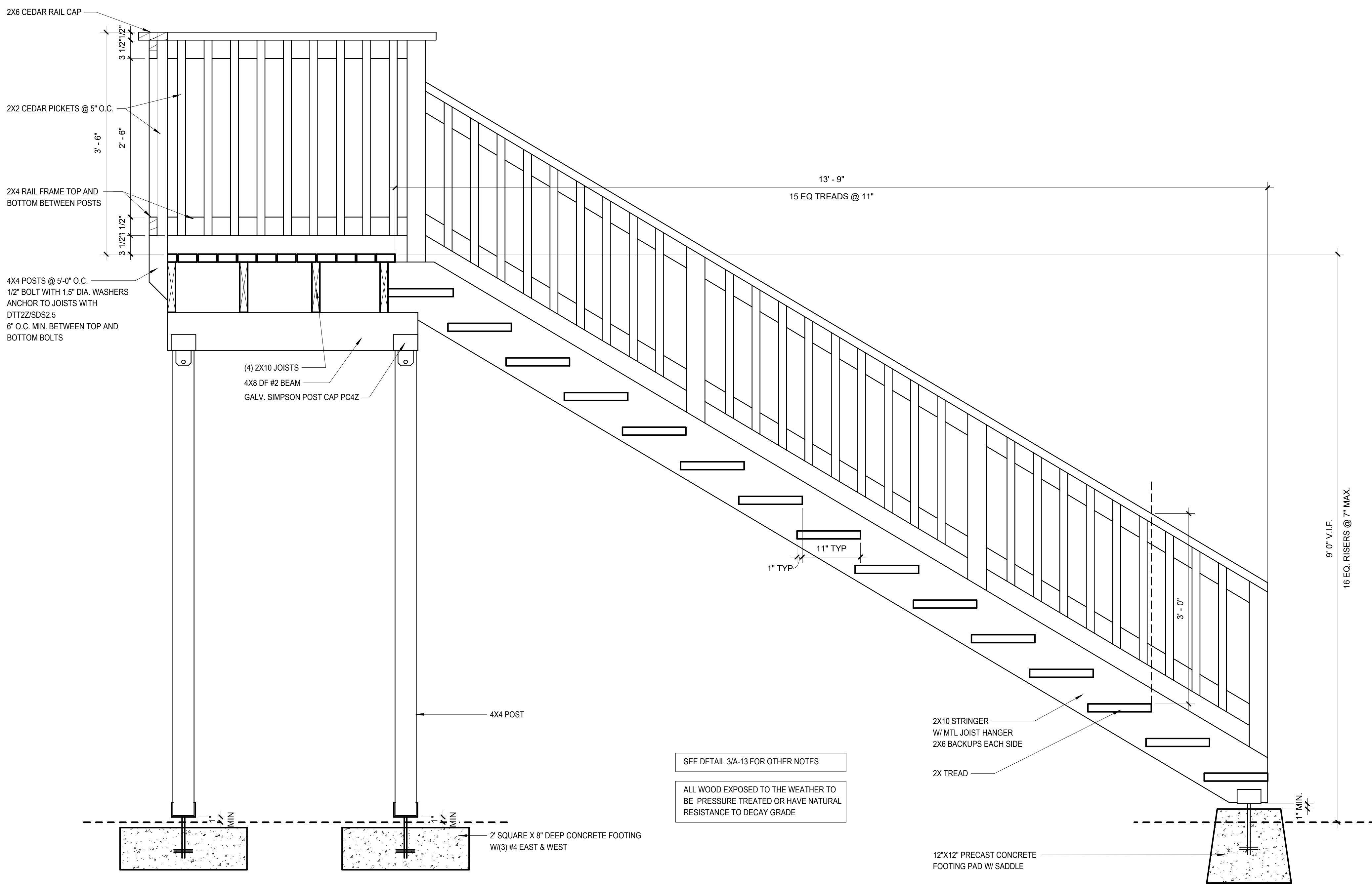
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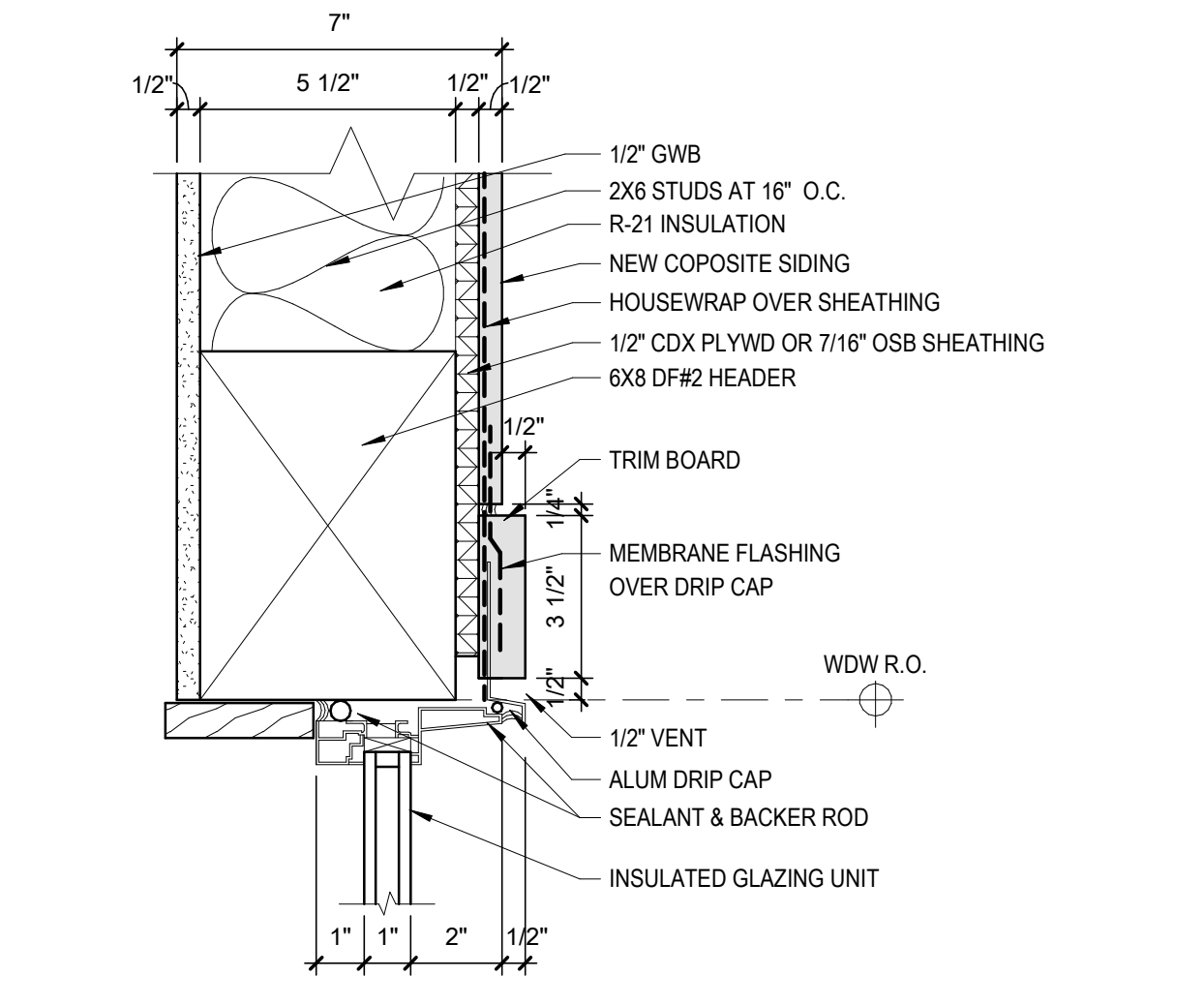
DWG. **DETAILS**

DWG. \_\_\_\_\_

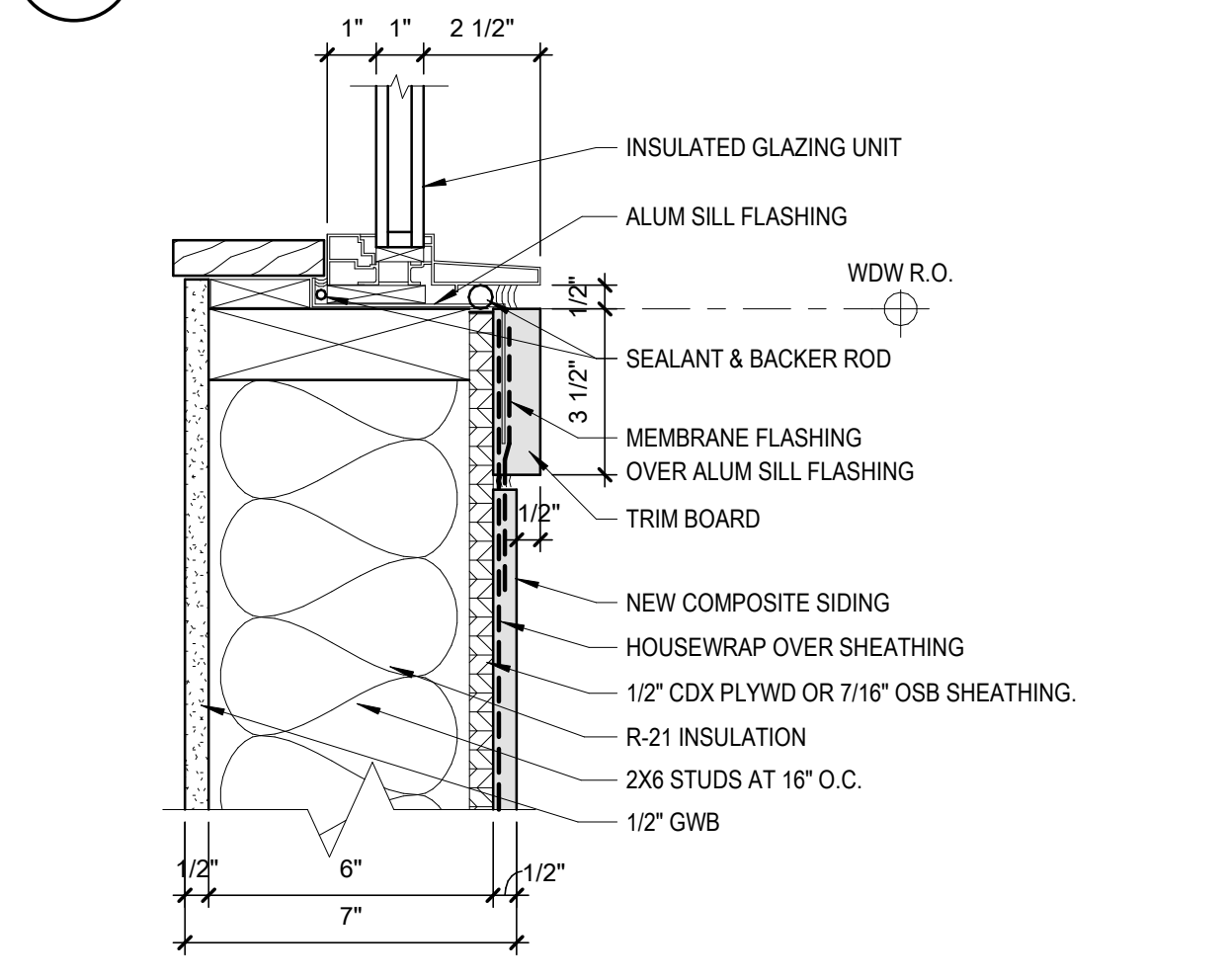
DWG. **A-16**



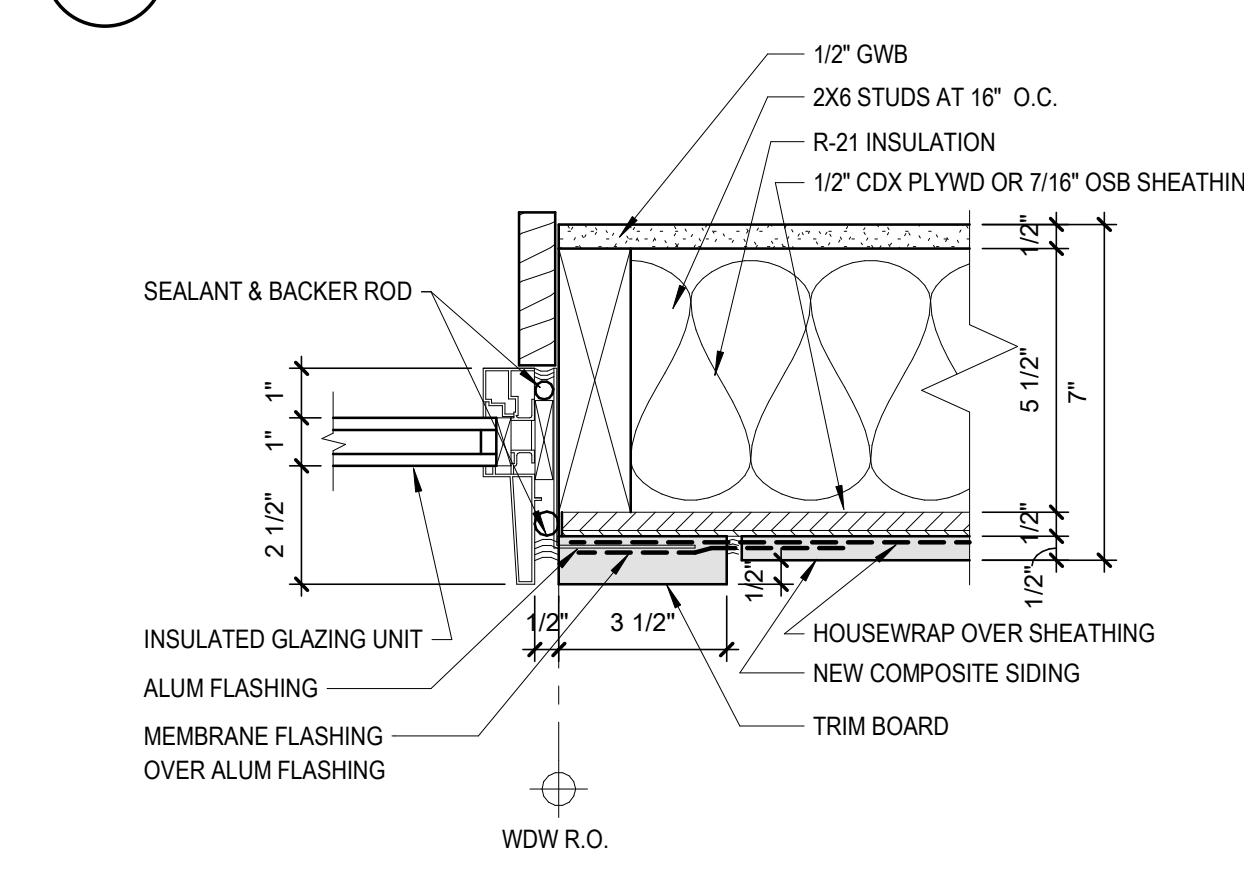
**1 DECK STAIR SECTION**  
 1" = 1'-0"



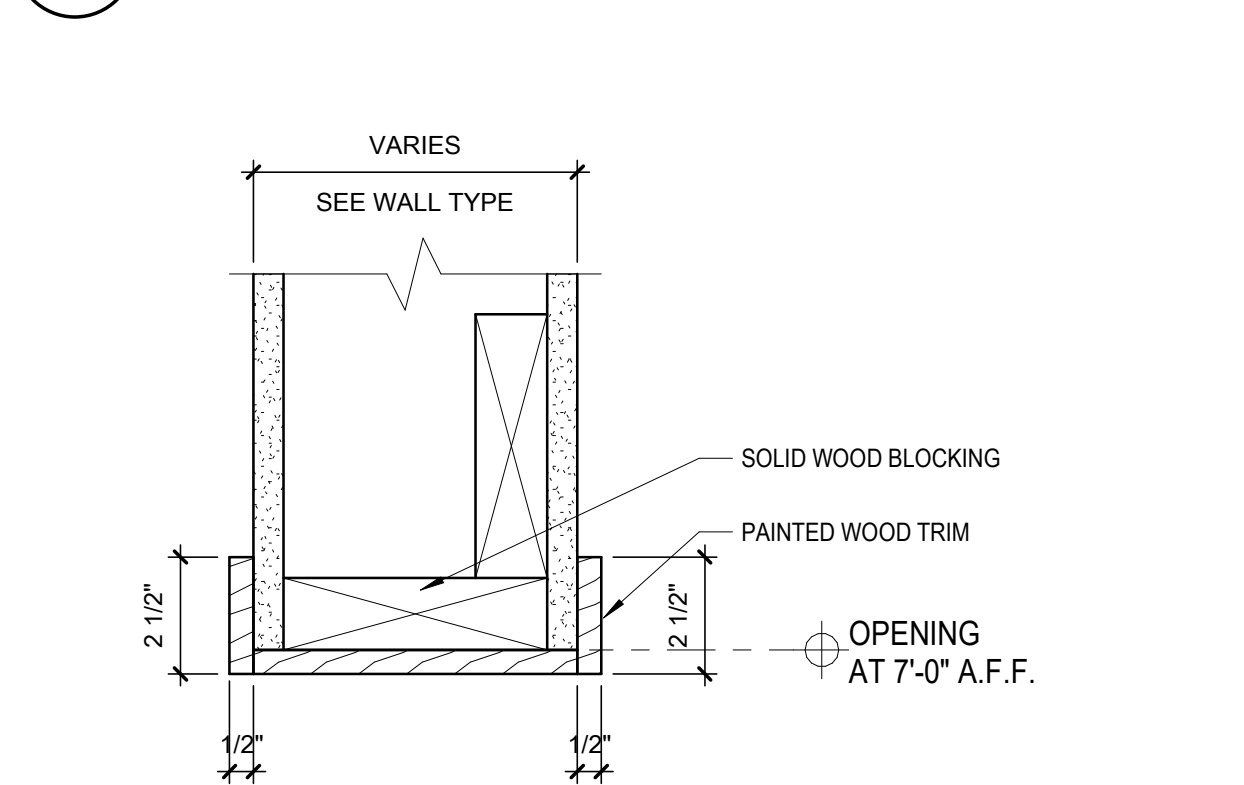
**9 WDW HEAD AT EXTERIOR WALL**  
 3" = 1'-0"



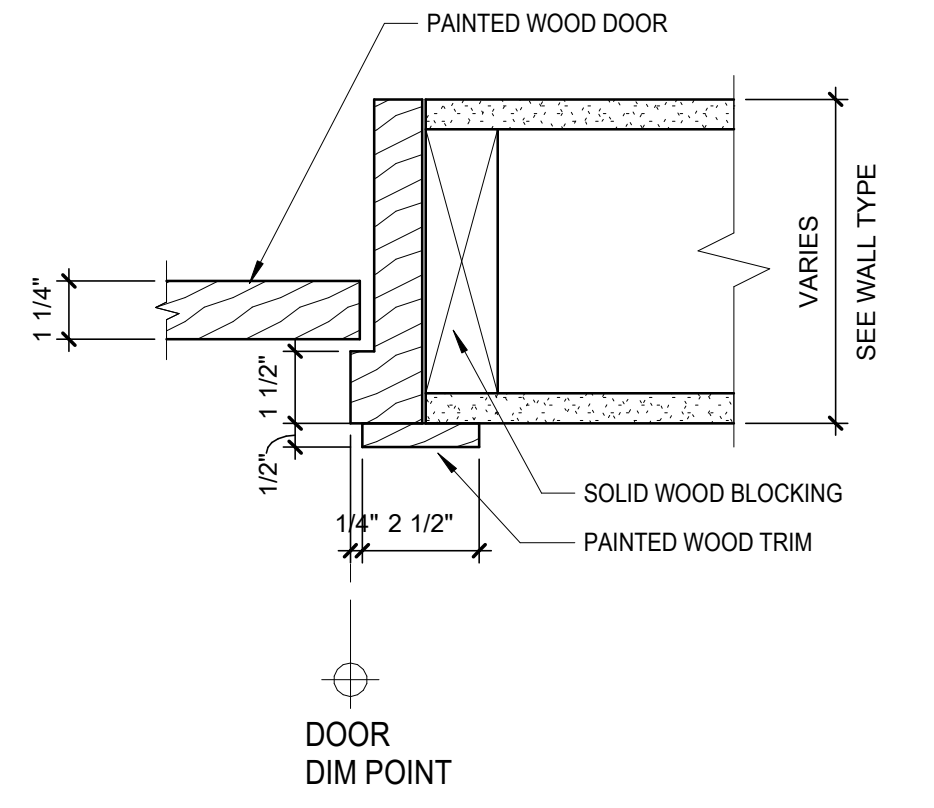
**8 WDW SILL AT EXTERIOR WALL**  
 3" = 1'-0"



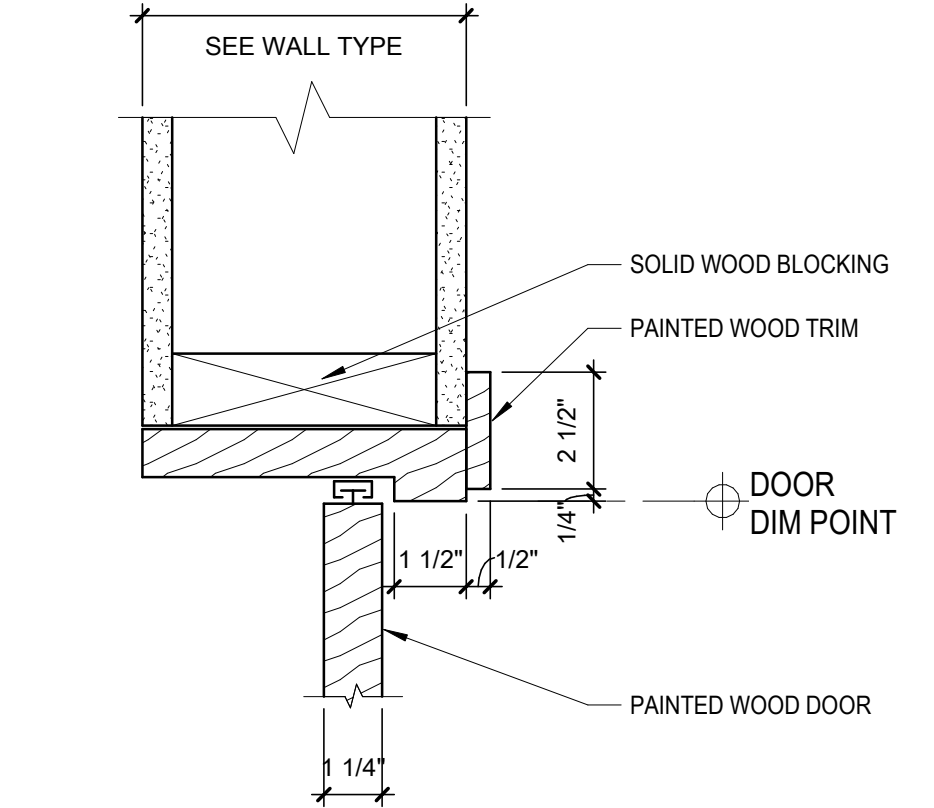
**7 WDW JAMB AT EXTERIOR WALL**  
 3" = 1'-0"



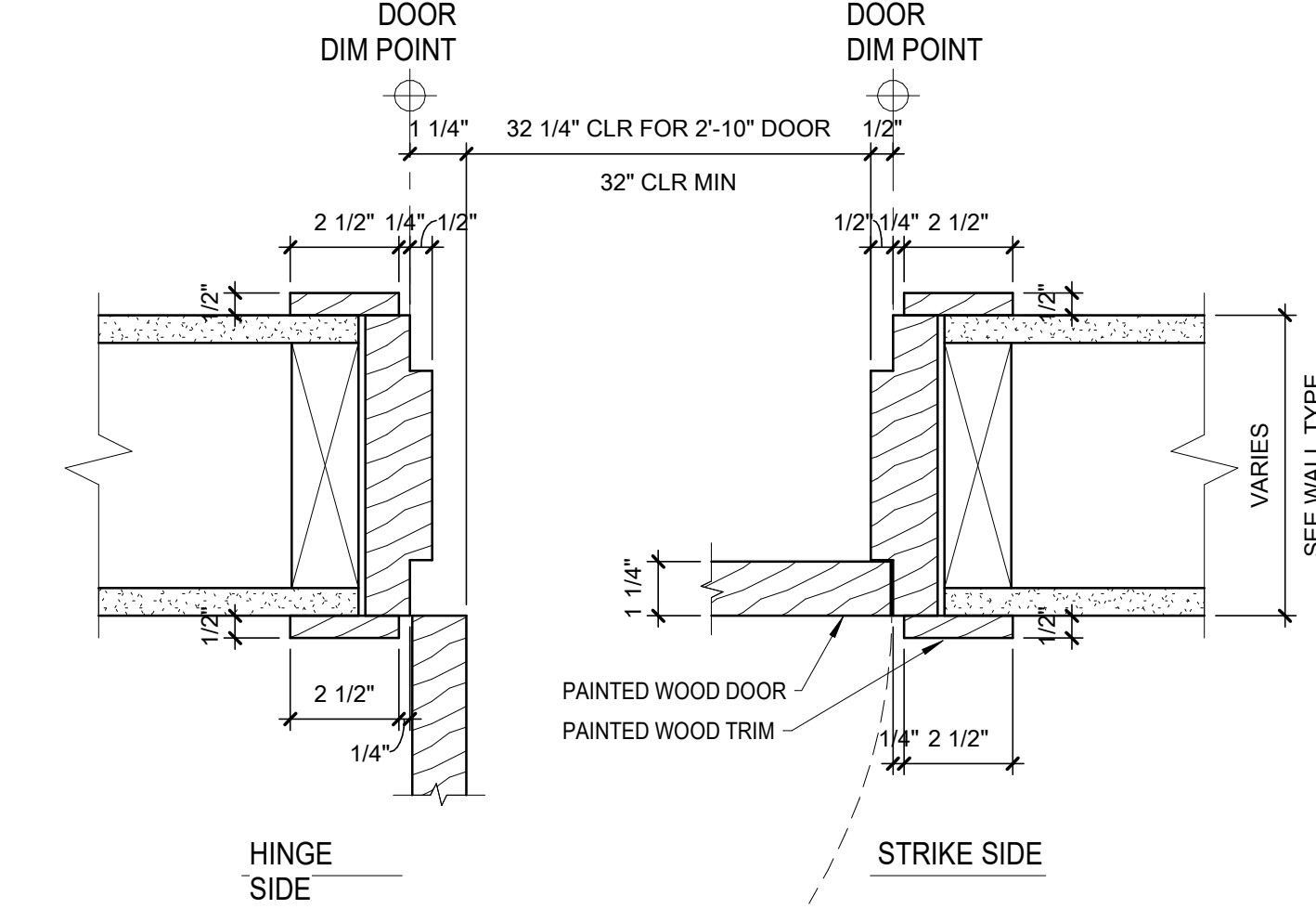
**6 WALL OPENING HEAD & JAMB**  
 3" = 1'-0"



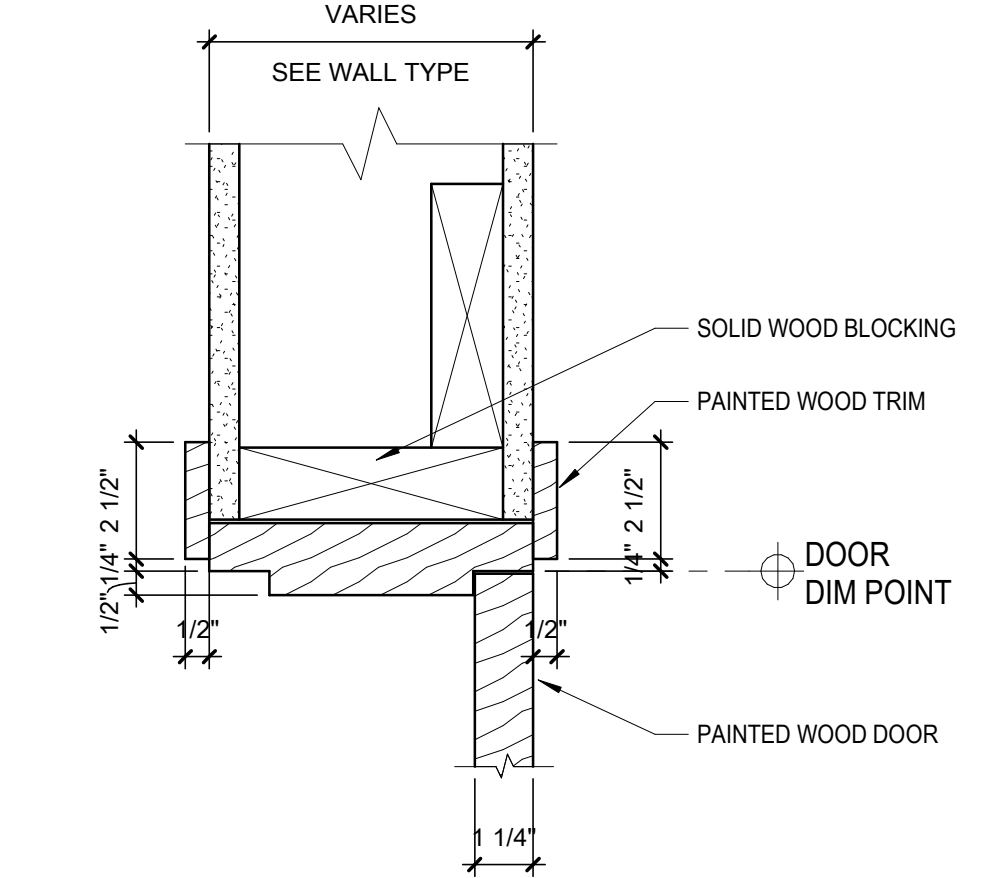
**5 BIFOLD DOOR JAMB**  
 3" = 1'-0"



**4 BIFOLD DOOR HEAD**  
 3" = 1'-0"



**3 INTERIOR DOOR JAMB**  
 3" = 1'-0"



**2 INTERIOR DOOR HEAD**  
 3" = 1'-0"

SEE DETAIL 3/A-13 FOR OTHER NOTES

ALL WOOD EXPOSED TO THE WEATHER TO BE PRESSURE TREATED OR HAVE NATURAL RESISTANCE TO DECAY GRADE

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